

**CHARTER TOWNSHIP OF ELMWOOD
PLANNING COMMISSION
REGULAR MEETING**

Tuesday, September 26, 2023 at 7PM

Location: Township Hall (10090 E. Lincoln Road, Traverse City, MI)

**Commission
Members:**

Rick Bechtold, Chair
Jeff Aprill, Vice-
Chair
Jonah Kuzma,
Secretary
Doug Roberts
Kendra Luta
Nathan McDonald
Chris Mikowski

- A. Call to order – 7:00 PM
- B. Pledge of Allegiance
- C. Roll Call
- D. Limited Public Comment-**Only on Agenda Items with no Public Hearing-** See Rules on Agenda
- E. Agenda Modifications/Approval
- F. Minutes – September 5, 2023 and August 15, 2023
- G. Consent Calendar: Approve/Receive and File
- H. Declaration of Conflict of Interest (*Items on the Agenda*)
- I. Old Business
- J. New Business
 - a. Extension Request. SPR/SUP 2022-05. Request by TC Whiskey for Distillery Tasting Room, visitor’s center, and offices at 9432 S Center Hwy (Parcel #45-004-008-009-20) [previously known as 9432 and 9440 S Center Hwy, 45-004-008-009-00 & 004-008-010-40].
 - b. SPR 2023-09 (no public hearing required). Request by JML Design Group, Ltd., regarding property at 0 Lincoln Rd (Parcel 45-004-030-001-00) for Gallagher Farms Distillery (Use: Distillery).
 - c. Introduction. SPR/SUP 2023-10. Request by Field La Femme Properties, LLC, regarding property at 10051 S Lake Leelanau Dr (Parcel 45-004-018-004-25) for Farm Club (Uses: Agricultural Commercial Enterprise (Farm Market), Microbrewery).
 - d. Review Capital Improvement Plan.
- K. Discussion on Zoning Ordinance
- L. Comments from the Chair
- M. Comments from Planning Commissioners
- N. Comments from Staff
- O. Public Comment-Any Items- See Rules below
- P. Adjourn

Public Comment Rules:

This is an input option. The Commission will not comment or respond to presenters. Silence or non-response from the board should not be interpreted as disinterest or disagreement by the board.

- Speakers are asked, but not required, to identify themselves by name and address
- Limit comments to 3 minutes for limited public comment and 2 minutes for public comment at the end of the agenda
- Comments shall be addressed to the chair, not individual board members or others in the audience

**Charter Township of Elmwood
Planning Commission Regular Meeting
Elmwood Township Hall (10090 E. Lincoln Rd.)
August 15, 2023 at 7:00 PM**

- A. Call to Order:** Chairman Bechtold called the meeting to order at 7:00 PM.
- B. Pledge of Allegiance:** The Chair led the Pledge of Allegiance.
- C. Roll Call: Present:** Chris Mikowski, Doug Roberts, Rick Bechtold, Jeff Aprill, Nate McDonald
Excused: Kendra Luta, Jonah Kuzma
- D. Limited Public Comment:** None
- E. Agenda Modifications/Approval:** Staff asked to have letter (b) added for meeting dates.
- MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER ROBERTS TO APPROVE THE AGENDA WITH MODIFICATION. MOTION PASSED 5-0.**
- F. Minutes-July 18, 2023: MOTION BY COMMISSIONER ROBERTS, SECONDED BY COMMISSIONER MIKOWSKI TO APPROVE THE MINUTES OF JULY 18, 2023 AS PRESENTED. MOTION APPROVED UNANIMOUSLY.**
- G. Consent Calendar: Approve/Receive and File
July ZA Report, Training Opportunities, 2023 Housing Needs Assessment (Bowen National Research)**
- MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER ROBERTS TO FILE THE CONSENT CALENDAR AS PRINTED. MOTION PASSED BY A UNANIMOUS VOTE.**
- H. Declaration of Conflict of Interest:** Commissioner Aprill stated he knows the Hills. No conflict found.
- I. Old Business:** None
- J. New Business**
- a. Public Hearing and Deliberations. SPR/SUP 2023-07. Request by Jim and Melissa Hill, regarding property at S. Briar Dr., E. Pico Dr., and 10651 E. Grandview Rd., parcels #004-260-018-00, #004-280-019-00, and #004-028-122-00 for Hill Storage (Use: Seasonal outdoor storage of boats and recreation vehicles).**

The Chair read the statement to open a public hearing at 7:06 p.m.

Melissa Hill stated, she and her husband Jim own the large parcel that was listed above. They are asking for a Special Use Permit for the outdoor storage of boats and recreational vehicles. They have been storing boats and trailers on that property for 20+ years not realizing it was not zoned for that. When they bought the property, the use was on there and they continued doing it. Once they learned they could not do that any longer without it being zoned, they came before the Planning Commission requesting that the parcels be zoned from R-1 to NC. On August 16th, 2022, that was granted by the Planning Commission. They then learned they had to go to the Zoning Board of Appeals to get a variance for setbacks and went before them on April 5, 2023, and it was approved by the ZBA for a variance. They are back before the Planning Commission requesting the SUP for seasonal outdoor storage of boats and recreational vehicles for what is currently onsite. They have completed the application for the SUP and in their packets is a letter from the Fire Chief stating he found the site plan acceptable regarding emergency vehicle access, fire operations, and water supply. There's also a letter in their packets from the Leelanau Conservation District stating there are no wetlands within the fenced area where they currently have storage and that the storm water runoff is sufficient and has an approved outlet. The Leelanau County Road Commission also sent a letter stating the existing driveways have not caused any damage to the County roads and the driveways are acceptable and there are no issues. Also in their packets are pictures of the vegetation and buffering for the north, south, east, and west sides of the property. They have no intentions of removing any of that from the property. The property is also surrounded by a fence with 2 gates for entrance and exit from the property. They do feel as if they do a service to their neighbors as several of the neighbors store their boats or trailers there because they don't have room on their own property and it's close by. They keep the property mowed and maintained as they live in the neighborhood also and don't want the property to be an eyesore.

Public comment opened at 7:14 p.m.
No public comment was given.
Public comment closed at 7:15 p.m.

MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER MCDONALD TO CLOSE THE PUBLIC HEARING AT 7:17 PM. MOTION PASSED UNANIMOUSLY.

The Commissioners went through Findings of Fact and Standards for Approval. Ultimately, the Commission found that all requirements and standards of the Ordinance had been met.

MOTION BY COMMISSIONER ROBERTS, SECONDED BY COMMISSIONER MCDONALD TO ACCEPT FINDINGS OF FACT AS MODIFIED. MOTION APPROVED UNANIMOUSLY.

MOTION BY COMMISSIONER MIKOWSKI, SECONDED BY COMMISSIONER ROBERTS THAT BASED ON THE FINDINGS OF FACT PREVIOUSLY ADOPTED, THE HILL BOAT STORAGE EXPANSION ON THE PROPERTY DESCRIBED IN THE DECISION AND ORDER IS HEREBY APPROVED, SUBJECT TO THE CONDITIONS SET FORTH. MOTION APPROVED UNANIMOUSLY.

CONDITIONS:

1. The property owner is responsible for obtaining all other applicable permits. This shall be done prior to obtaining a Land Use Permit.
2. The Planning Commission received a letter dated June 13, 2023 (amended 6/16/23) from Keith Tampa, Fire Chief, indicating that their review found the site plan acceptable with recommendations, including but not limited to: **“Storage location.** Storage should not be within 50 feet of the neighboring residence. (per request of the fire chief). **315.4 Outside storage.** Outside storage of combustible material shall not be located within 10 feet (3048 mm) of a lot line. **Exceptions:** 1. The separation distance is allowed to be reduced to 3 feet (914 mm) for storage not exceeding 6 feet (1829 mm) in height. 2. The separation distance is allowed to be reduced when the *fire code official* determines that no hazard to the adjoining property exists. IFC (2012) – Chapter 3 General Requirements – Section 315: *General Storage.*”
3. The Planning Commission is not approving any signage under this Site Plan Review. Any proposed signage will need to comply with the Zoning Ordinance and the property owner shall obtain a sign permit from the Zoning Administrator.
4. Landscaping shall be maintained in a healthy, growing condition. Diseased or dead materials shall be replaced within the current or next planting season.
5. The project shall comply with all requirements of the Zoning Ordinance in effect at the time of approval.
6. At the time of Planning Commission approval, the site complied with the buffering requirement for the use. Adequate buffering, pursuant to the Zoning Ordinance, must be maintained onsite. This includes “The fence or plantings shall be maintained in a neat and attractive manner and shall maintain their density and screening effect throughout the calendar year.”
7. In accordance with use requirements within the Ordinance, “The storage area shall be in compliance with Soil Erosion/Stormwater permit and shall be graded and drained to dispose of all surface water so that it does not flow into adjoining lots or pollute adjoining waters.”
8. In accordance with the use requirements within the Ordinance, “The storage area is for storage only and no vehicle or motor repairs shall be made on the premises by the property owner, vehicle owner, boat owner, or any other person.”
9. In accordance with the use requirements within the Ordinance, “Empty boat cradles or trailers shall be completely screened by an opaque fence, or wall, or landscaping, or combination thereof. No empty boat cradles or trailers shall be stacked higher than six (6) feet.”
10. Boat storage is permitted within the highlighted areas in accordance with the Zoning Board of Appeals approval.

b. Meeting dates:

The meeting date for September was changed to September 26, 2023. The meeting date for October was changed to October 24, 2023.

A special meeting date for August was discussed, but no decision was made. Staff will reach out to Commissioners with more dates.

K. Discussion on Zoning Ordinance: None

L. Comments from the Chair: Chairman Bechtold thanked the Commissioners for their hard work and diligence in reviewing the materials and being well prepared.

M. Comments from Planning Commissioners: None

N. Comments from Staff: Thanked the Commissioners and added, there are some upcoming training opportunities. She also noted she is working on 4 incomplete applications that she's working with the applicants on, so they may have more on the agendas soon.

O. Public Comment: None

P. Adjourn: MOTION BY COMMISSIONER MCDONALD, SECONDED BY COMMISSIONER APRILL TO ADJOURN MEETING AT 7:44 PM. MOTION PASSED 5-0.

DRAFT

**Charter Township of Elmwood
Planning Commission Special Workshop Meeting
Elmwood Township Hall (10090 E. Lincoln Rd.)
September 5, 2023 at 1:30 PM**

A. Call to Order: Chairman Bechtold called the meeting to order at 1:35 PM.

B. Pledge of Allegiance: The Chair led the Pledge of Allegiance.

C. Roll Call: Present: Chris Mikowski, Doug Roberts, Kendra Luta, Rick Bechtold, Jeff Aprill (1:48 p.m.)

Excused: Nate McDonald, Jonah Kuzma

D. Agenda Modifications/Approval: MOTION BY COMMISSIONER ROBERTS, SECONDED BY COMMISSIONER LUTA TO ACCEPT THE AGENDA AS PRESENTED. MOTION PASSED 5-0.

E. Declaration of Conflict of Interest: None

F. Purpose of the Meeting: The Planning Commission discussion on amending Zoning Ordinance for special event facilities.

Chairman Bechtold stated they had a consultant there, Sara Kopriva, from Beckett and Raeder who developed proposed language and concepts for this. Currently, in the Township, they really don't have any ordinances that readily address the event facilities on agricultural zoned properties and most of the Township is Zoned Agricultural and they want to preserve the agricultural and rural heritage of the Township, so they have asked the consultant to give them language to guide their process.

Sara Kopriva briefly talked about what was in the packet. She noted the Commission had met the end of June to talk about the language and what they'd like to see. She took their comments and put in guidance and regulation related to the comments heard at the meeting as a starting point. She approached it as 'less is more' in the regulations, hit on the very specific regulations they're looking at and then relying on the Special Use Standards that are already in the Ordinance for when they make their decision. That's where they can go through and determine if it's compatible with the neighborhood, etc., that's all in their Standards, so you can look at those in the Zoning Ordinance. Any spot they think may be lacking in those standards would be good to bring into these requirements, specific to the use. She also included a map, so when they talk about parcel size, they can decide what makes the most sense. The map shows the 20- acre parcels in the Township, including parcels not zoned Agricultural-Rural. This will give them an idea of where those parcels are located in the Township, she wanted to get a visualization of how many parcels potentially could be allowed with this use at 20-acres and what that looks like. That's the purpose of the map. At the bottom they have the statistics, keeping in mind that is the whole Township, they've got 4% of the parcels which are over 20-acres, which is almost 50% of the acreage. She suggested that the best path forward would be to get some general

comments on the language that was prepared and then they can walk through some specifics that are highlighted as they haven't yet been discussed.

Chairman Bechtold said one of the thoughts he had, is they're in the process of reviewing their Master Plan and he doesn't think it currently addresses this, so if it proceeds and becomes a live Ordinance, they'll need to make sure the language in their Master Plan reflects the utilization of the AG. Kopriva noted that much of the language in the Master Plan is broad and they will need to make sure the language fits within the Master Plan.

Commissioner Roberts liked what they have before them. As to the hours of operation and number of events, he said they have other areas of the Ordinance that cover hours of operations they might consider consistency for some of those things. Chairman Bechtold asked how the Commissioners felt about the minimum lot size. Commissioner Roberts said he had a different question; how many active farms there were in Elmwood Township because under Section 2(a) of the prepared text, (a) is what is necessary to assess the impact of the proposed Ordinance. Kopriva responded and said she would have to get with the Assessor to see what is listed as an active farm, but that is still difficult because it's the assessing component for someone getting the AG exemption, but if you have a house on the property, you may not have an AG exemption. Kopriva noted that you may have a piece of property right now that is not active and there would be nothing stopping it from becoming active.

Commissioner Luta said that some of the goal of the use would be to promote more active AG land. She asked if there was any kind of restriction of a property owner having multiple 20-acre parcels being able to have multiple event facilities. Kopriva responded by indicating there was no discussion about that, everything is supposed to be on the same parcel, but there would be nothing to exclude them from having multiple facilities.

Commissioner Mikowski asked if they are looking at licensing them. Kopriva responded by saying she would have to talk to Staff to see if they spoke with the attorney about that. Commissioner Mikowski said that might help alleviate multiple facilities by one owner.

Chairman Bechtold thought finding out about the number of active farming would be a good start. He asked again if 20 acres would be a good minimum size and the 2.5% permitted for the use. Kopriva indicated that the 2.5% was from the old Ordinance and that came from when we had winery related activities.

Commissioner Roberts asked if other maps showing other parcel sizes (40, 60). Kopriva said she hadn't but can if the Commission wants. Commissioner Roberts said he would like that visual representation.

The Commissioners further discussed parcel size, what "outdoor" meant in regards to speakers. They then discussed the importance of ensuring that the use is associated with an active farm. Commissioner Aprill said past production would show that you're an active farm, not what you intend to do. Chair Bechtold recognized John Gallagher Sr who said that any commercial farmer is signed up with the Farm Service Agency. Commissioner Aprill

again said that they need to remove 'the intent to' as that's bad; someday he may intend to grow Christmas trees. Kopriva used that example: say you have Christmas trees, so if you're growing your trees, how long does it take to grow a tree? Can you not start your special event facility until you start selling your trees? Commissioner Aprill said yes. Kopriva continued with that example and noted that there is work and maintenance that goes into growing such trees. Commissioner Aprill said that the language needs to be able to help the true farmer. Kopriva asked if the same would apply to apples, grapes, and cherries; they would have to get to a certain point, to which Commissioner Aprill said yes. Commissioner Roberts asked Aprill if it would help if language was added indicating that certain documents or registrations would be required to show it's a commercial, to which Aprill said yes. Aprill added it wouldn't help the tree farmer, which we don't currently have in the Township. Kopriva asked if they wanted a maple syrup farmer to be able to have a special event facility, to which Aprill said no. Other Commissioners said if it's a diversified farm, yes.

Kopriva asked if any Commissioners wanted to add anything under 1 a-d; Commissioners said it was a good start. Kopriva was asked to work on language narrowing ag related businesses. Kopriva noted that this is a workshop meeting so no final decisions will be made. Kopriva asked about section 2. Kopriva was asked to add language regarding being registered with the Farm Service Agency. Commissioner Aprill asked about the 2.5% and said that it may get into splitting hairs; if someone is growing trees, someone may say that should be considered as part of the farm operation because that will be harvested every 8-10 years; is that active farm? Should there be yearly active farm? How do we characterize that. Kopriva questioned including regulations stating how many acres in active farm operation because then we end up with someone who ends up planting that acreage and then you're arguing if they've met that 5 acres. What is in the proposed language is more flexible. Commissioner Luta said that they need to make sure that the language is beneficial. John Gallagher Jr. was recognized and relayed that if someone buys a 20 acre parcel, not all of it is tillable (slopes) and by the time a 20' road is installed for the fire department, it's hard to meet the requirements. Commissioner relayed that with any Ordinance, we're limiting what is allowed and we need to make sure it works. The Commissioners discussed the limitation of the use at 2.5%. John Gallagher III was recognized and suggested that to be consistent with other Ordinances to relate it to impervious surfaces; parking on the grass wouldn't be counted, etc. Commissioner Aprill said that the big thing is that it is taking away from the farm. Kopriva said that she'll make a note that they can come back to this. Commissioner Aprill said it would be interesting to see how many parcels could meet these requirements.

The Commission then discussed parking, screening, hours of operation, number of events. They then discussed sound. The previous Ordinance allowed amplified sound, but required that it be moved indoors (building; enclosed tent) after a certain time. The Commission then discussed what would be considered indoors and enforcement. The Commission discussed permitting amplified music until 8 and then acoustic. Rose Gallagher was recognized and noted that with their clients, acoustic music occurs later and then they typically have a DJ. The Commissioners then discussed a decibel level or that the music cannot be a nuisance to a reasonable person at the property line.

The Commission then discussed 'indoors' and determined to circle back. The Commission then discussed hours of operation vs determining it on a case-by-case basis. Chair Bechtold said having a standard would be helpful to applicants. Commissioner Roberts suggested the Commission look at other Townships and what they require as hours of operations. The Commission agreed, but to resurrect the regulations from the previous Ordinance for now.

The Commission then discussed number of events. Kopriva said the old Ordinance referenced number of events, but the draft doesn't have a number because they didn't talk about it at the last meeting. The Commission moved forward with the number from the previous Ordinance.

Commissioner Aprill asked for clarification on if there is any language regarding special event facilities in the current Ordinance to which Kopriva said there is not. Kopriva added that they had language and it was removed due to many components which were legally challenged. Commissioner Aprill said it would be good to look at what was in the old ordinance to make sure they are not missing anything, to which Kopriva indicated that information had been previously provided to the Commission. Chair Bechtold said that in the packet there was a memo from Counsel about moving forward. Chair Bechtold suggested that Staff touch base with Counsel to see if there's any new case law that the Commission should be considering. Commissioner Aprill said that Counsel should work on language. Kopriva said that she knows the Zoning Administrator had worked with counsel originally when this application was filed to try to craft some language, and then the applicant resubmitted old language so that's when we came back and said alright, we'll just work through it and come up with language.

The Commission discussed the 2.5% requirement again.

Kopriva stated that she would take the comments, rework some language, and get some more information for the Commission to look at. Commissioner Aprill said that what would be helpful for him is the old ordinance and solutions from the Township Attorney regarding the old ordinance. Kopriva stated that no judge has made a ruling on what was in the old ordinance; it was settled before a decision was made by a judge. Kopriva said that she thinks that if the Commissioners have questions on anything specific that can be sent to the Attorney for input. More work is needed on the text and at this time, asking the Attorney to go through the whole document item by item, unless the Commission wants, may not be a good use of time and money. The Chair noted that counsel will ultimately have to look at the proposed language they have and he thinks they've made it abundantly clear that farming production is a key element to the whole component of event facilities.

G. Public Comment: None

H. Adjournment: MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER LUTA TO ADJOURN MEETING AT 2:56 PM. MOTION PASSED UNANIMOUSLY.

To: Elmwood Township Board
From: Sarah Clarren, Planner/Zoning Administrator
RE: August 2023 Planning and Zoning Report

PERMITS:	8/2023	8/2022	YTD 2023	YTD 2022
Single Family Dwelling	1	2	8	21
Attached SFD	0	0	0	0
Accessory Building	0	1	3	11
AG Building	0	0	3	0
Residential Addition	0	2	5	4
Deck	0	0	7	7
Sign	1	0	2	3
Commercial	1	0	3	2
Misc.	4	2	8	10
Total Permits	7	7	40	57
Fees Collected	\$1,371.40	\$553.12	\$4,138.21	\$4,566.00

Zoning Board of Appeals:

August Meeting. Cancelled due to no new business.

September 6, Regular Meeting. Scheduled, but cancelled. Scheduled hearing will be re-noticed in accordance with Zoning Enabling Act.

Planning Commission:

August 15, Regular Meeting. 1) Public Hearing and Deliberations on SPR/SUP 2023-07. Request by Jim and Melissa Hill, regarding property at S. Briar Dr., E. Pico Dr., and 10651 E. Grandview Rd., parcels #004-260-018-00, #004-280-019-00, and #004-028-122-00 for Hill Storage (Use: Seasonal outdoor storage of boats and recreation vehicles), approved with conditions.

Agenda has not yet been finalized, but will include 1) Public Hearing on Hill Storage (see above). 2) Discussion on Meeting Dates; September meeting moved to 9/26 and October meeting moved to 10/24.

September 5, Special Workshop Meeting. Continued discussion on reintroduction of Special Event Facilities within the A-R Zoning District.

September 26, Rescheduled Regular Meeting. Agenda is not yet finalized, but will include 1) introduction of Capital Improvement Plan, 2) Extension Request for TC Whiskey. ZA is working through additional information on two applications to determine if they can be on the agenda.

Office Updates:

STRs. Township has issued 93 of 93 licenses. Nine applications on waitlist (as of 9/6/23). Courtesy notice regarding renewal has been sent.

Elmwood Charter Township Planning Commission

NOTICE TO THE PUBLIC
YEAR OF 2023
Regular Meeting Schedule

Regular meetings of the Elmwood Charter Township Planning Commission are held at the Elmwood Township Hall located at 10090 E. Lincoln Rd., Traverse City, MI on the third Tuesday of each month at 7:00 PM, with no new business being considered after 9:00 PM without approval of a majority of the Planning Commissioners.

January 17, 2023

February 21, 2023

March 21, 2023

April 18, 2023

May 16, 2023 *cancelled*

June 20, 2023

July 18, 2023

August 15, 2023

~~September 19, 2023~~ *rescheduled to September 26, 2023*

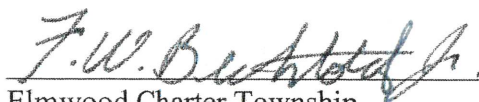
~~October 17, 2023~~ *rescheduled to October 24, 2023*

November 14th

December 12th

The public is advised that any one of these meetings is subject to cancellation or postponement due to the lack of agenda items or business. In such an event, an 18-hour notice will be posted at the Township Hall. Individuals who are planning to attend and require reasonable auxiliary aids should contact Connie Preston, Elmwood Charter Township Clerk at 231-946-0921.

Date adopted: 12/13/2022



Elmwood Charter Township
Planning Commission Chair

Revised & posted 8/18/23 at 12:30 PM

Planning/ Zoning Department
planner@elmwoodtownship.net

Elmwood Charter Township
10070 E. Lincoln Rd.
Traverse City, MI 49684

Contact Information
Ph: (231) 946-0921
Fax: (231) 946-9320

To: Elmwood Township Planning Commission

From: Sarah Clarren, Planner/Zoning Administrator

Date: September 19, 2023

RE: Extension Request for SPR/SUP 2022-05

Enclosed is a letter from Megan Feenstra Wall requesting an extension for SPR/SUP 2022-05 on behalf of TC Whiskey Co. The Planning Commission approved SPR/SUP 2022-05, with conditions, on September 20, 2022.

Section 9.5 of our Zoning Ordinance states that “A. Special land use approvals, and any conditions of approval, shall run with the land and be binding upon the applicant and any subsequent successors, heirs, or assigns. B. If substantial construction has not taken place within one (1) year of the special land use approval date, the special land use shall expire. C. The Planning Commission may grant two (2) extensions of a special land use approval, of an additional one (1) year period for each extension, provided that the applicant submits an extension request prior to the one year expiration date of the special land use approval or a prior extension. To grant an extension, the Planning Commission must find that any delays were beyond the control of the applicant, and that the applicant will complete substantial construction within the one (1) year extension period.”

As the minutes for the 9/20/22 meeting were not approved until October 18, 2022, the approval does not expire until 10/18/22 (pursuant to Section 9.3.A.D.3, “The approved minutes of the Planning Commission shall be the date official action was taken on a proposed special land use application.”).

If the Planning Commission believes that the requirements of an extension request have been met, the following motion may be used:

Motion to grant a one-year extension to TC Whiskey regarding SPR/SUP 2022-05 for Distillery Tasting Room, visitor’s center, and offices at 9432 S Center Hwy (Parcel #45-004-008-009-20).

08.31.23

Ms. Sarah Clarren
Planner and Zoning Administrator, Elmwood Township
10090 E Lincoln Rd
Traverse City, MI 49684

**Re: Traverse City Whiskey Co. – Special Use Permit extension request
9440 S. Center Highway**

Dear Ms. Clarren,

Traverse City Whiskey Co. (TCWC) was granted a Special Use Permit and Site Plan approval (2022-06) at the September 2022 Planning Commission meeting, with minutes approved on October 18, 2022, to operate a tasting room in an A-R zone as part of their distilling operations at 9440 South Center Highway. We are requesting a one-year extension to the Special Use Permit and Site Plan Approval.

Substantial construction has taken place on site to prepare for the distillery building. The sprinkler system water tank and associated pumphouse building, along with the storm water detention system, are complete. These items were part of a separate permit on the property for a barrel-storage warehouse, but they are essential to the function of both the new distillery building and the warehouse and were sized to include the distillery project. The ammonia chiller system, cooling tower, and all associated piping have been removed from the building exterior and roof and other work includes roofing, deferred maintenance, and clean-up to prep for the distillery project. Some additional site-related demo and grading has also taken place under the warehouse permit.

The tasting room and distillery construction project was bid to subcontractors in March 2022 by Erhardt Construction and would have been well underway this fall, but unfortunately, the bid climate was quite poor, with low or no bid turnout in multiple bid categories. The drawings will now be re-bid Fall 2023.

With some on-site construction complete and with construction work on the distillery building itself experiencing unforeseen bid delays, we are respectfully asking the Planning Commission for a one-year extension to the Special Use Permit and the Site Plan approval, per Ordinance Section 8.6E and 9.5C.

On behalf of Traverse City Whiskey Company and our design and construction team, thank you for your time and consideration. We seek to be a valuable and responsible asset to the area, and we continue to endeavor to work openly and collaboratively with the Township on this project.

Sincerely,
MATHISON | MATHISON ARCHITECTS



Megan Feenstra Wall
Principal

To: Elmwood Township Planning Commission
From: Sarah Clarren, Planner/Zoning Administrator
Date: 09/19/2023
RE: SPR 2023-09, Gallagher Distillery

Applicant: JML Design Group Ltd.
225 E 16th St, Suite B
Traverse City, MI 49684

Property Owner: Gallagher Farms LLC
9340 E Breithaupt Road
Traverse City, MI 49684

Engineer: Crain Engineering LLC
7622 Bott Road
Buckley, MI 49620

Surveyor: Simmer Land Surveying
404 W Mesick Avenue
Mesick, MI 49668

Hearing Date: N/A, Site Plan Review

Case Number: SPR 2023-09, Gallagher Distillery

PROPERTY DESCRIPTION

Parcel ID # 004-030-001-00 (0 E Lincoln Road, 80.00 acres).

The above referenced parcel is located in the Agricultural-Rural (A-R) Zoning District. The parcel is located in Section 19 of Elmwood Township.

GENERAL CONCERNS

- 1) Access to this parcel is over another parcel under different ownership. In this situation, I believe the Private Road Ordinance applies.
- 2) The address as shown on the application is incorrect; I have corrected it.

APPLICATION

The application submitted by JML Design Group, Ltd., on behalf of Gallagher Farms LLC, for a distillery. Although shown on the plans, Gallagher Farms, LLC is not seeking a distillery tasting room at this time. Distilleries are a permitted use, through Site Plan Review (SPR) within the A-R Zoning District. A Distillery, per the Zoning Ordinance, is defined as “An establishment licensed by the State of Michigan as a Small Distiller.” At this time, the use itself has no special standards or requirements, other than it meets all requirements and standards of Article 8 (Site Plan Review).

In regards to parking, Article 6.1.3 does not contain a use for distilleries. However, Section 6.1.2.E indicates that “The off-street parking space requirement shall be as determined by the Zoning Administrator using the use that is most similar in use and intensity.” The Applicant has utilized the calculation of 5 parking spaces plus 1 per employee on largest shift in order to determine parking. As that calculation is utilized for ‘light industrial, including fruit and vegetable processing plants’ and ‘general warehousing,’ the Zoning Administrator finds that parking calculation acceptable for distilleries. This is in line with historical interpretations. Per the Impact Assessment Statement, hereafter referred to as IAS, 8 spaces are required and a parking area has been provided for 12 spaces. One of these spaces will be accessible. It is worth noting that 12 spaces exceeds the maximum parking permitted by 150%; therefore, the Planning Commission will need to review and approve or deny the additional parking. It is worth noting that the IAS clearly states that “An area has been provided for (12) spaces for the future tasting room.”

SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL

1. Applicant's name, address, and telephone number. *Provided (Application).*
2. Property owner's name, address, telephone number, and signature. *Provided (Application).*
3. Proof of property ownership, and whether there are any options or liens on the property. *Provided (Staff confirmed via deed).*
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent. *Provided*
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage. *Provided (application, surveys submitted with application)*
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers. *Provided (Architectural drawings, not provided site plan), typically conditioned*
7. Project title or name of the proposed development. *Provided (application).*
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing. *Provided (Impact Assessment Statement)*
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site. *Provided (Impact Assessment Statement)*
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance. *Provided (Impact Assessment Statement; Sheet A1.1)*
11. A vicinity map showing the area and road network surrounding the property. *Provided (C-1)*
12. The gross and net acreage of the parcel. *Provided (C1.2, but not accurate. Gross is 80 acres, not 20. Unsure of what net acreage is).*
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels. *Provided (application, survey showing aerial).*
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations. *Provided (surveys, Plan; staff confirmed via deed; note that setbacks shown are not accurate.)*
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%. *Provided (C-1)*
16. The location and type of existing soils on the site, and any certifications of borings. *Provided (USGS Soil Map)*
17. Location and type of significant existing vegetation. *Provided (C-1 shows cherry orchard and 'treeline', but note that no detail on tree types for 'treeline'; worth noting that the plans are not an accurate representation of the vegetation currently onsite (see aerial).*
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes. *Provided (C-1.1)*

19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope. **Provided (C-1 and narrative).**
20. Proposed location of all proposed structures, buildings, equipment, and uses. **Provided (C-1)**
21. Elevation drawings of typical proposed structures and accessory structures. **Provided (A2.1)**
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets. **Provided (C-1)**
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property. **Provided (C1.1; C1.2). Note that no easement is shown or provided over abutting property (004-030-002-10).**
24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof. **Provided (C1.2, A2.1, A2.2)**
25. Location, size, and characteristics of all loading and unloading areas. **Provided (C1.2)**
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use. **N/A**
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable). **Provided (C1.2). Note that no fire hydrant shown; may be necessary as deemed appropriate by Fire Department / Building Safety.**
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam. **Provided (C-1.2)**
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable. **N/A**
30. Location, size, and specifications of all signs and advertising features, including cross- sections. **Impact Assessment Statement indicates "No signage will be required at this time."**
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used. **Provided (A2.1, A2.2 – show location and typical fixture and 9/5/23 letter indicates "Decorative gooseneck shade canopy lights are provided around the building perimeter. The fixtures are downlights with no exposed bulbs."**
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown. **Provided (C1.2)**
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate. **Provided (9/5/23 letter states "No new perimeter or internal landscaping is proposed. the distillery is nestled in the existing orchard. Existing vegetation is to remain."**
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities. **Provided (C1.2)**

35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities. *Provided (9/5/23 letter states "There will not be any chemical, salts, or other hazardous material. Alcohol is considered a Class 1B flammable liquid. Refer to NAFA 30, Section 13.3.1 (8.4.35). A distance of 200 ft horizontal separation is required."*
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved. *Provided (C-1, but questions remain (see 8.4.18))*
37. North arrow, scale, and date of original submittal and last revision. *Provided (C-1 and A1.1, A1.2)*

SECTION 8.5 REVIEW AND APPROVAL (For Site Plan Review)

SECTION 8.5 REVIEW AND APPROVAL

- A. All applications for site plan approval shall be reviewed against the standards and requirements of this Ordinance. Only when satisfied that the application meets all standards and requirements shall the Planning Commission approve, or approve with conditions, an application for site plan approval to ensure the health, safety, and welfare of the residents of Elmwood Township.
- B. **Standards for Site Plan Approval.** The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:
 1. All required site plan and application information has been provided as specified in this Article.
 2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval.
 3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.
 4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met.
 5. Compliance with all non- zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.
 6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.
 7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.
 8. All buildings and structures are accessible to emergency vehicles.
 9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.
 10. The percentage of impervious surface has been limited on the site to the extent practicable.
 11. Efforts have been made to protect the natural environment to the greatest extent possible.

12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.
13. The proposal furthers the goals and objectives of the Master Plan.

SECTION 9.2 GENERAL PROVISIONS

- A. **Authority to Consider Special Land Use Applications.** The Planning Commission as hereinafter provided shall have the authority to approve, deny, or approve with conditions (if appropriate) special land uses.
- B. **Application.** Application for any special land use permit permissible under the provision of this Ordinance shall be made to the Planning Commission through the Zoning Administrator by filing an official special use permit application and submitting a site plan in accordance with Article 8. In addition to information or documents required by Article 8, the applicant shall provide the following information:
 1. Location of all proposed special land uses and activities to be conducted on the parcel(s); *Provided (plan)*
 2. Height and footprint of all structures and improvements; *N/A*
 3. Adjacent land uses and their corresponding zoning districts; *Provided (application)*
 4. Need for the proposed special land use in the specific area of the Township. *Provided (plan)*
 5. Compatibility with the listed permitted uses in the zoning district where the proposed special land use is requested to be located; *Provided (application)*
 6. Such additional information or documents that will assist the Planning Commission in determining whether the proposed special land use meets the General Standards and Specific Requirements as provided in Section 9.3.

SECTION 9.3 STANDARDS, REQUIREMENTS AND FINDINGS

The Planning Commission shall review the particular circumstances of the special land use permit application in accordance with the requirements of this Article and Article 8. Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all of the General Standards and Specific Requirements listed below:

- A. **General Standards.**
 1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located.
 2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district.
 3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located.
 4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers.

5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses.
6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources.
7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services.
8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements.
9. The following specific requirements shall be met to the extent applicable to the proposed special land use:
 - i. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:
 - i. Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts;
 - ii. Proximity and relation of driveway to intersections;
 - iii. Minimization of pedestrian and vehicular traffic conflicts;
 - iv. Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management.
 - v. Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks;
 - vi. Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels.
 - vii. Adequate maneuverability and circulation for emergency vehicles.
 - b. Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site.

If the Commission finds all the requirements and standards met, the Commission should make a motion to approve the project.

The Commission will also need to decide on whether or not to approve:

- 1) *Exceeding maximum permitted parking by 150% (Section 6.1.2.H)*



Design Group, Ltd.

—“Excellence is our Hallmark”

225 E. 16th Street, Suite B • Traverse City, MI 49684 • Phone: (231) 947-9019 • Fax: (231) 947-8738

September 5, 2023

Ms. Sarah Clarren, AICP
Elmwood Charter Township
10090 E. Lincoln Rd.
Traverse City, Michigan 49684

Re: Distillery at Gallagher Farms LLC

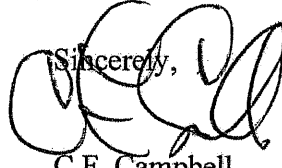
Dear Ms. Clarren:

Please review and accept the following submission documents with regards to above referenced project.

1. Signed and notarized Designated Agent letter attached (8.4.4).
2. Net acreage is shown (8.4.12).
3. An unnamed existing water course has been shown on Sheet C-1.1. The drainage course does not necessarily have water in it year-round. It is therefore questionable whether it is considered a body of water (8.4.18).
4. A commercial driveway entrance was installed off E. Lincoln Road for the wedding venue. The approach is shown on Sheet C-1.1 (as “ex. Commercial driveway entrance”). The driveway detail has been added to show conformance, it is existing. The Impact Assessment Statement notes the same information (8.4.23).
5. Barrier free parking and aisle are shown as concrete. Parking is shown for an additional (11) spaces that will be gravel. Lighting will be minimal and attached to the building (8.4.24)
6. Off street loading and unloading space has been identified to the south of the structure (8.4.25).
7. Proposed well, storm retention ponds & calculations, and septic system are shown. Refer to engineered site plan C-1 dated 06/28/2023 from Crain Engineering (8.4.27).
8. Electric, propane and telephone are shown (8.4.28)
9. Decorative gooseneck shade canopy lights are provided around the building perimeter. The fixtures are downlights with no exposed bulbs (8.4.31).

10. No new perimeter or internal landscaping is proposed. The distillery is nestled in the existing orchard. Existing vegetation is to remain (8.4.33).
11. There will not be any chemical, salts, or other hazardous material. Alcohol is considered a Class 1B flammable liquid. Refer to NAFA 30, Section 13.3.1 (8.4.35). A distance of 200 ft horizontal separation is required.
12. Refer to prior item # 3 (8.4.36).
13. Attached are the following:
 - a. Revised Impact Assessment Statement
 - b. Soil Survey map
 - c. EGLE wetland map
 - d. Drainage plan from Crain Engineering LLC
 - e. Revised Sheets A-1.1, A-2.1, A-2.2, C-1.0 and C-1.1
 - f. Notarized designated agent letter
 - g. Soil Erosion Permit

If there should be any questions, please contact me.

Sincerely,

C.F. Campbell

FC/tk

**A PROPOSED DISTILLERY
at GALLAGHER FARMS**

IMPACT ASSESSMENT STATEMENT

OWNER:
Gallagher Farms. LLC
9340 E. Breithaupt Road
Traverse City, Michigan 49686

PREPARED BY APPLICANT:
JML Design Group, Ltd.
225 E. 16th Street, Suite B
Traverse City, Michigan 49684
(231) 947-9019

June 16, 2023
Revised September 5, 2023

Proposed Project

Gallagher Farms is proposing to add a distillery to their existing farm. The distillery will utilize the fruit produced on site to produce various distilled spirits. The design of the distillery structure is intended to look like a barn in keeping with the surround agricultural area. This report contains the anticipated physical impacts of a proposed distillery on the immediate project area.

The existing overall Gallagher Farms site contains 383.93 acres. The distillery parcel contains 20 acres (gross) 18.05 (net) of an 80-acre parcel. The property is currently zoned (A-R) agricultural. The width of the property is 654 feet. The required minimum width was 125 feet. The distillery is regulated by Michigan Liquor Control Commission and requires a site plan review with Planning Commission's approval. The small distiller license has been applied for and will be obtained prior to occupancy. A tasting room is a future consideration that will require a special use permit.

The proposed site will have little impact on existing infrastructure. The distillery will have (3) workers. The workers are currently already on-site. Traffic will not be increase as the public will not be invited to the facility. The natural environment will be maintained. There is no impact on the surround site as the distillery is completely contained within the Gallagher Farms site.

Property Tax Number is 45-004-030-001-00. The legal description for the overall property is:

N 1/2 OF THE NE 1/4 OF SEC 30, TOWN 28N, R11W, WITH 80 ACRES more or less.

The distillery building site is owned by Gallagher Farms, LLC.

The distillery building site contains approximately (20) acres which is the minimum size allowed. Additionally, (5) acres of land will be required for growing crops to be used for the onsite production of spirits. This standard is met, as most of the 20 acres are existing fruit trees. The Gallagher Farms are being operated utilizing generally accepted agricultural management principles.

The site is located on the top of a hill. The grade changes significantly in three directions. The northeast affords a view to both the east and west arms of Grand Traverse Bay. The view is aided by the existence of an abandoned gravel pit with a subsequent lack of trees. The pit is characterized by steep slopes with a flat bottom.

The overall parcel is to be accessed from East Lincoln Road. An existing gravel road was priorly improved from E. Lincoln Road across the overall farm to the subject site.

The proposed distillery is to be contained in a 7,800 SF (1) story, 35'-0" high, wood-framed structure. The building coverage is 0.89% of the lot area.

The distillery is set back from the property lines as follows:

Front setback:	408 ft.	the required setback is 50 ft.
Rear setback:	777 ft.	the required setback is 25 ft.
Side setback:	257 ft.	the required setback is 10 ft.
Side setback:	320 ft.	the required setback is 10 ft.

The nearest residence is approximately 1000 ft. to the west

Parking

Parking requirements for this use are (5) spaces plus (1) space per number of employees on largest shift. A total of (8) spaces are required. The parking is on gravel; therefore, actual spaces will not be delineated. The calculations are based on a 9 ft. x 20 ft. space per vehicle with a 20 ft. aisle. An area has been provided for (12) spaces for the future tasing room. The ADA parking space and aisle are concrete. A loading/unloading area is shown to the side of the structure. There is no loading dock and the area is not interfering with the public use of a dedicated public street and therefore is not enclosed.

The building is surrounded by existing vegetation and cherry orchard. Existing vegetation is to remain. The building is 1,575 ft off of Lincoln Road and is hidden due to vegetation and topography. No perimeter of internal landscaping is required.

Snow storage is provided in the retention basin south of the parking area.

Traffic/Access

An existing entrance off of E. Lincoln Road will be used to access the site. The entrance was installed to meet the requirements of a commercial driveway, as required by the Leelanau County Road Commission. This entrance to the driveway allows for a 500-foot viewing distance. The road was graded to maintain a no greater than 11% grade. In this fashion, ingress and egress for emergency vehicles is maintained.

Access is across several properties The properties are all owned and operated by the same entity.

Agency review letters including site plans were sent to the following entities:

1. Soil Erosion and Sedimentation Control/Leelanau County Drain Commissioner'
2. Benzie-Leelanau District Health Department
3. Leelanau County Road Commission
4. Elmwood Township Fire Department.

Soils

The soils of the site are alfisols and spodosols. The soils are characterized as moderately leached soils that have relatively high native fertility. No soil borings have been made.

Vegetation

The existing vegetation is cherry trees. No significant trees will be affected by the proposal.

Drainage

The storm water management plan will be reviewed as impervious areas are developed. A water course has been identified on the EGLE map. However, water is not contained in the drainage swale (or creek) year-round.

Sanitary Sewer

The Distillery will be serviced by a septic field and tank. A perk test was conducted, a system was designed, and a permit is in the process of being issued.

Water Supply

The Distillery will be serviced by a 2" well.

Utilities

The distillery will be serviced with electricity. Existing electrical lines and transformers will be added to. Propane will service the building with low pressure gas from a tank located west of the parking area.

Waste Management

An on-site dumpster will be utilized. A trash dumpster enclosure has been provided.

Hazardous Materials

No hazardous materials are utilized onsite. The alcohol being produced is considered a Class 1B flammable liquid. A distance of 200 ft. is required for horizontal separation (per NFPA 30 Section 13.3.1).

Signage

No signage will be required at this time.

Schedule

The intent is to construct the distillery, after site plan approval, in the Summer/Fall of 2023. All necessary licensing will be obtained. The building will be used to process, distill, and store various distilled spirits. A future tasting room will be constructed when enough inventory is on hand to warrant welcoming the public to the facility. The tasting room will require the further approval from the Planning Commission before constructing.

**Charter Township of Elmwood
Application for Site Plan Review**

Applicant

JML Design Group, Ltd.

 Name
 225 E 16th Street Suite B

 Street Address
 Traverse City MI 49684

 City State Zip
 231 947 9019

 Phone Number
 admin@jmlarchitects.com

 Email Address

Owner (if different)

Gallagher Farms LLC

 Name
 9340 E Breithaupt Rd

 Street Address
 Traverse City MI 49686

 City State Zip
 231 360 3243

 Phone Number
 jgallagherIII@hotmail.com

 Email Address

Engineer

Crain Engineering LLC

 Name
 7622 Bott Road

 Street Address
 Buckley MI 49620

 City State Zip
 231 947-7255

 Phone Number
 crainengineeringllc@gmail.com

 Email Address

Surveyor

Simmer Land Surveying

 Name
 404 W Mesick Ave

 Street Address
 Mesick MI 49668

 City State Zip
 231 429 4914

 Phone Number
 ksimmer@simmerlandsurvey.com

 Email Address

Contact Person (All communications from the Township will be sent to this individual regarding the submitted application) Applicant Owner Engineer Surveyor

Property Information:

Property Address: ~~8629 E Lincoln Road~~ 0 E Lincoln Road
 Parcel Number: 45-004-030 - 001 - 00 Current Master Plan Designation Agricultural Rural (A-R)
 Zoning District: Agricultural Rural (A-R) Current Use of Property: Farm

Adjacent Property Zoning AND Use(s): North: Agricultural Rural (A-R) Wedding Venue



CHARTER TOWNSHIP OF ELMWOOD

Planning and Zoning

10090 E. Lincoln Rd, Traverse City, MI 49684

(231) 946-0921 Fax (231) 946-9320

Email: planner@elmwoodtownship.net

The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Benzie-Leelanau District Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator. Comment letters shall be provided to the Zoning Administrator prior to application being placed on the Planning Commission agenda for consideration.

Affidavit:

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, and that the answers and statements herein contained and the information submitted are in all respects true and correct. In addition, the undersigned represents that he/she or they is authorized and does hereby grant a right of entry to Township officials for the purpose of inspecting the premises and uses thereon for the sole purpose of gathering information regarding this request.

Owner Signature

Date

6/16/23

Applicant Signature

Date

OFFICE USE ONLY:

Case Number: _____ Fee: _____ Paid: _____

PC Decision: _____ Date: _____

East: Agricultural Rural (A-R) Farm
South: Agricultural Rural (A-R) Farm
West: Agricultural Rural (A-R) Farm

Other Remarks: _____

RAW MATERIALS

General Requirements

Any sugar containing material can be the basis for the production of spirits. Starch containing materials such as grains and potatoes are fermentable and are acceptable for whiskey, vodka, and gin production; however, in the U.S. they cannot be used for brandy production¹. The following raw materials will be considered in the present work:

For brandy

Seed fruit (apples, pears)

Stone fruit (cherries, plums, apricots)

Berry fruit (raspberries, currants, blackberries, juniper berries etc.)

Pulp (grape and other fruit pulp)

Seed fruit and grape wine

Yeast sediment products

Roots and tubers.

For vodka, gin, whiskey:

Grains (corn, wheat, barley, and rye)

Roots (potatoes], not whiskey

For rum:

Molasses

The raw materials necessary for the production of excellent spirits need to meet certain quality demands, but the more common physical criteria for table fruits such as color, shape, size and surface shine are less important. It is the chemical composition of the fruit or grain which is decisive for both a qualitative and quantitative satisfactory outcome including:

1. high sugar content
2. strong developed, typical aroma (in fruits)
3. clean, healthy, sound material (no mold or rot).

In general, optimal sugar and aroma content can only be achieved through good ripening of the fruit or grain. Upon addition of sugar (forbidden by regulations in a wide number of countries in Europe and North America for brandy production) the lack of sugar content in unripe fruit can be corrected: however, because of the lack in aroma the resulting brandy would likely be of poor quality. Moreover, the increased level of tannin materials in unripe fruits can lead to fermentation hold-up or faulty fermentations. Overly ripe fruit tends to rot and mold, which results in poor brandies. Furthermore, the fruits or grains used ought to be free of any secondary odors and flavors (e.g., oils, sprays, pesticides, etc.) In summary, the condition of the raw material is of fundamental importance for the production of good spirits. Superior distillates cannot be obtained using low-grade material even with the most careful processing. Distillation should never be considered a remedy for utilization of damaged or unsound fruit or grains.

Table. 1: Sugar content and alcohol output of various raw materials (from Tanner and Brunner)

Raw material	Sugar content (%)		Yield (liters of pure alcohol per 100 kg raw material)	
	Range	Mean	Range	Mean
Apples	6-15	10	3-6	5
Apricots	4-14	7	3-7	4
Pears	6-14	9	3-6	5
Blackberries	4-7	5.5		3
Gentian roots	5-13		3-5	
Windfalls (Seed fruit)	2-5			2.5
Yeast deposits			2-5	
Blueberries	4.5-6	5.5		3
Raspberries	4-6	5.5		3
Elderberries	4-6	5		3
Currants	4-9	red 4.5 black 6.5		3.5
Pomace	2-4		2-3	
Cherries, sweet	6-18	11	4-9	6
Peaches	7-12	8		4.7
Plums	6-15	8	4-8	
Quinces	4-8		2.5-4	
Marc	2-4			3
Juniper berries (dried)		20	10-11	
Topinambour	13-18*		6-8	
Grapes	9-19	14	4-10	8
'Zwetschgen' (Plums)	8-15	10	4-8	6

1. predominantly inulin

Raw Materials

Seed Fruit.

Generally, surplus apples and pears are used for processing. But specialties from pure types of fruit are also produced. A well-known apple variety is "Golden Delicious" and the pear variety is "Bartlett", also known as "Williams" in Germany. Pear brandy has one of the most characteristic flavor and aroma of the original fruit of any of the fruit brandies.

The sugar content of seed fruit generally fluctuates very strongly (cf. Table 1), but has a mean of about 9-10 % both for apples and pears. Pears contain less acid than apples which causes them to be more susceptible for infections; therefore, acid adjustment is generally required. Must pears often contain a high level of tanning agent. In general, healthy seed fruit is stored for a while before use (decomposition of the tanning agent, softening of the fruit, aroma development), whereas damaged raw materials have to be processed fairly soon because of risk of infection. Several processing possibilities exist:

1. Mashing after preceding mincing (healthy fruit)
2. Fruit pressing and fast fermentation (foul, unripe fruit; hail damaged fruit; surplus use)
3. Usage of overaged fruit wines (consider total SO₂-content, as high sulfur content can leave to very poor distillates).

Stone Fruits

Cherries which are richer in sugar and in aroma than table cherries are desired for the production of cherry brandy (Kirsch). Early harvested fruit generally does not have full sugar and flavor development; therefore, it is recommended to use fully ripe and even overly ripe fruit. Tart cherries often possess a higher (the taste being masked by the acid) sugar content than sweet cherries, but they can be low in aroma. Experience with the Montmorency tart variety in Michigan has shown that an excellent distillate can be produced from this variety.

Cherries usually contain 20-40 g sorbitol/kg, a non-fermentable, sweet tasting sugar alcohol. In case of faulty fermentations, the non-fermentable sugar alcohol mannitol can also be formed from fructose such that refractometer measurements can wrongly indicate fermentable sugar. The stone content is approximately 10% of the total weight. The cherries should be picked without stems and leaves should be removed. Cracked fruit needs to be processed immediately.

Plums are more round in contrast to the longish 'Zwetschgen'; their flesh is moreover softer and is less easily to separate from the stone. Sugar

and acid content are rather somewhat lower compared to 'Zwetschgen' and the aroma is - except of some special sorts - less developed. Plums are more susceptible for decay than 'Zwetschgen' since their skin is thinner and thus easily crack and become rotten faster because of their lower acid content. It is not uncommon to obtain impure distillates but with proper processing (e.g., addition of acid to the mashes) it is possible to obtain satisfactory results.

Apricots are also an excellent raw material for distillate production. The processing and treatment should generally follow the guidelines set out the other stone fruit mentioned above.

Berries

Berries are not as widely used for distillation as compared to stone fruit or seed fruit. Cultivated berries possess a relatively low sugar content of 4-8% (exceptions: Grape and rose hip) as compared to wild growing ones. This low sugar content results in relatively low yield of distillate and subsequently makes the raw material cost quite high. Berries are more widely used for the production of liqueurs.

Raspberries, blackberries, and currants are the most widely used raw materials for distillate production. Cranberries and elderberries are rich in tanning material and partially low on nitrogen; therefore, supplementation using fermentation aids should be used to avoid fermentation hold-ups. Juniper berries are commonly used in dried condition, their sugar content is around an average of 20%. Due to the high content of tanning agents and resins it is difficult to ferment juniper mashes.

Pulp

Marc is the residual from the pressing of the fruit. Its sugar content depends to a great extent on the moment of the pressing as well as the associated conditions in addition to the quality of the base material. White grapes are pressed while sweet and the resulting sugar content of the marc is thus higher than for red grapes which are pressed during decreasing fermentation in order to gain the color. In some cases, the sugar content can be so low that the use of the marc is no longer profitable for distillation raw material. Heating of the mash can increase the sugar content for the marc of red grapes. The press conditions have a significant influence on the sugar content: higher pressure, renewed loosening and pressing, hot pressing etc. are factors which contribute to the juice yield; however, improved juice yield results in lower sugar content in the marc.

Marc is highly perishable and should be processed quickly after

production. Increased contact with air can be avoided through a good pulping. It is recommended to avoid the usage of marc already containing compounds that result in poor quality (e.g., marc with butyric acid tinge or an aldehyde content which is too high), because the recovery of their distillates is associated with tremendous expenditure or not anymore possible at all. While present day practices and regulations often prohibit it, previously residuals of sprays could be found in the marc, especially sulfur and organic sulfur constituents. During the course of the fermentation this sulfur is converted to hydrogen sulfide such that the odor of rotten eggs is formed. Marc mostly yields distillates with increased aldehyde and methanol content. An important element to consider in both marc and pomace use it that the sugar content is always low relative to other feedstocks and there will always be a much higher concentration of flavor and aroma components in the final distillation process.

The pulp of apples and pears (i.e., pomace) generally contains less sugar than the marc of grapes and their processing is often not very profitable. Pomace distillates are also known for their relatively high methanol content. Methanol forms during the fermentation through the influence of a fruit specific enzyme (pectin methyl esterase) from pectin present mostly in large quantities in pears. High methanol contents can pose a problem in the US as the allowable limits are lower and the regulations are more closely enforced than in some other countries.

Wines

Often faulty wines or low-grade wines are used for distillation. Special care must be employed during distillation and the addition of specific technical measures (elimination of the sulfur compounds, lowering of an excessive acetic acid content, etc.). Bitter wines and wines with mercaptan, butyric acid, or oil taste are unusable.

The most well-known brandies made from wines are of French origin. The appellations "Cognac" or "Armagnac" are used exclusively for the products stemming from the wines of the particular growing areas. Moreover, there are regulations regarding the distillation process and storage in oak barrels. The designation "Wine brandy (i.e., brandy)"

MASHING AND FERMENTATION

Mash and Fermentation Containers

Mash and Fermentation Container Materials of Construction

The traditional oak barrel used as a mash and fermentation container is no longer used for distillate production even though it retains its role for the preparation of wines and for the storage of certain distillates. Wooden barrels are very labor intensive with respect to starting operations,

cleaning and maintenance; also, their storage in empty conditions poses problems which include the establishment of undesired micro-organisms and undesired influences on the taste.

A several materials are available as alternatives for the wooden barrel, including metal and plastic containers, concrete and stone materials, and glass. In comparison to the wooden barrel these materials possess advantages with respect to cleaning, maintenance, and sealing. It should be noted, though, that not all materials are suitable for the direct contact with mashes and in such cases, it is necessary to apply an interior lining of the container walls. Mashing and fermentation containers made of high-grade stainless steel (high-chrome steel) are recommended without restrictions, but lower grades of stainless steel may lead to problems if using gaseous SO₂. Different restrictions apply for mild steel and aluminum. Since these materials are corroded by fruit acids, an interior lining, made of plastic or glass enamel is required.

Fiber-reinforced polyester resins and low-pressure polyethylene tanks are widely used due to their low weight and high corrosion resistance. Plastic containers can also be installed outdoors; however, ultraviolet light from the sun can cause significant degradation leaving to brittleness and cracking. Models suitable for stacking are also available. No interior lining is necessary for the fermentation and storage of fruit mashes in plastic containers because such tanks are usually neutral with respect to taste of the products. If in doubt this assertion should be checked. In general, plastic tanks can be purchased with prior approval for food use by the FDA in the US and the supplier should be consulted.

Glass and concrete also have importance as fermentation vessels. The direct contact of concrete by the mash should be avoided because fruit acids spall or corrode concrete. In such cases epoxy-resins can be used as linings for concrete containers.

Cleaning and Maintenance

Barrels and vats made of wood have to be sealed against leakage. Sealing is achieved by thorough soaking with water to swell the wood and this is particularly necessary if they have been emptied for some time. The water should be renewed every 1-2 days. However, it is not possible to achieve airtight wooden barrels and loss of alcohol has to be taken into account when wood is used.

The interior should be cleaned immediately after emptying to avoid the formation of dried mash crust. The barrel should be flushed thoroughly with cold water and then brushed with a hot cleaning agent (e.g. 2%

sodium solution). Afterwards the barrel needs to be flushed again with cold water until it drains clear and without any foreign taste. Care needs to be taken also of the exterior cleanliness. In particular, the formation of mold can be avoided through a periodical treatment of the exterior wall with an impregnating salt or oil, but chlorine should be avoided.

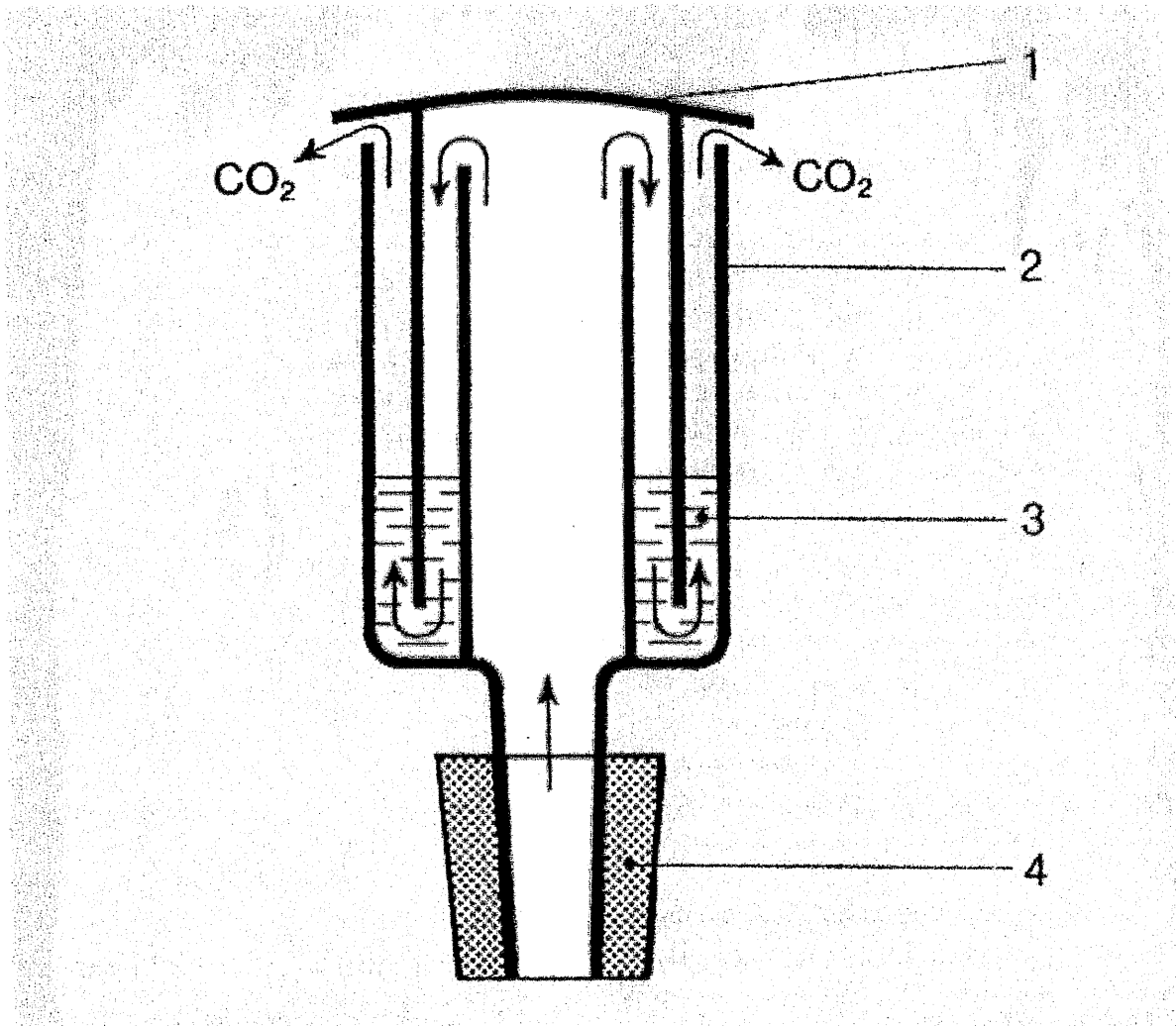
The barrels need to be dried after cleaning and empty containers should never be closed. If they are not used for some time, a barrel conservation is required to protect against undesired microorganisms. A proven classical method is the burning of a non-dripping sulfur bar according to the size of the barrel or the filling with water containing sulfuric acid (500 ml 5% SO_2 /hl water). A 1-2 % solution of formalin serves the same purpose. The effect of the sulfuric acid decreases with time such that the procedure has to be renewed every 1-2 months. Before reuse the wooden barrels should be carefully examined for their condition.

The cleaning of containers not made of wood does not pose any difficulties. The sequence: cold water - cleaning agent - cold water also applies. In this case alkaline, acidic or chlorine-containing agents can be used and it is recommended to make sure the reagents are food grade. It is not recommended to use these cleaning techniques for mild steel or aluminum without great care. In any case a thorough flushing with water has to follow. The use of soft brushes is recommended for plastic material and high-grade steel in order to maintain a smooth surface.

Sealing of the Fermentation Containers

Lids for containers of any size should prevent inflow of air because external air (containing oxygen) contact with the mash promotes the formation of undesired microorganisms, e.g., film-forming or acetic bacteria, while the yeast used for the fermentation of the sugar does not require any oxygen. A fermentation in an open container will inevitably result in an infection of the mash as well as alcohol losses. As it can be seen from the governing equation for the fermentation (in a following section) the most important side product of alcohol fermentation is gaseous carbon dioxide (CO_2) which is produced in large quantities and has to be released from the fermentation container*. This venting of carbon dioxide is achieved through the use of an air lock as shown in Fig. 1. The air lock is constructed in such a way that the barrier liquid (usually water) does not allow air inflow whereas the escape of the carbon dioxide is possible because of the slight elevated pressure present inside the vessel. The observance of gas bubbles moving through the air lock can be used to follow the course of the fermentation. While pure water is often used, a 1:1 solution of water and glycerin or, after completed fermentation, a 2% sulfuric acid can be used as barrier liquids if evaporation is a problem.

Figure 1: Air lock



Designation

- 4. Bell
- 5. Bottom Part
- 6. Barrier Liquid
- 7. Rubber Plug
(from *Tanner and Brunner*)

MASHING AND MASH TREATMENT

Mashing and Mash Treatment of Fruits

The individual steps at the beginning of the fermentation process play an important role as the requirements regarding the raw materials which should be met to obtain flawless distillates. They all serve the purpose to provide optimal conditions for the yeast to proceed with the fermentation process. The steps include: washing and crushing of the fruit and the

addition of acids, pectin-reducing enzymes and fermentation aides (fermentation salts, combined nutrient preparations for yeast). Of course, not all those measures have the same importance regarding the different kinds of fruit or grain. It is not possible to specify a general "correct" procedure for the mashing because too many factors like the condition of the raw material and the expected storage time of the fermented mash.

Calculation of the Alcohol Yield of Mashers and Musts

1. **Measured sample volume equals the receiver volume:** the determined true alcohol content of the distillate (in % vol.) is equivalent to the alcohol yield in l of pure alcohol per 100 l must or mash.
2. **Measured sample volume does not equal the receiver volume:** the determined true alcohol content multiplied by the yield factor results in the alcohol yield in l of pure alcohol per 100 l must or mash (Table 8).

Table 8. Average Brandy Yield from 100 kg Raw Materials¹(from the statistical statements of the Federal Alcohol Administration 1981/82)

Raw Material	Liter 100 % vol.	Raw Material	Liter 100 % vol.
Apples	4.5-5.4	Cherries	5.6-6.5
Pears	4.1-4.7	'Zwetschgen',	4.8-5.7
Bartlett Pears	3.6-4.1	Greengage	±5.5
Juice, Must	5.0-5.8	Yellow Plum	6.3-7.6
Pomaceous Pulp	3.0-3.5	Apricots	3.6-4.1
Yeast, Must Lees and Must Lees	4.1-4.9	Peaches	±3
Grapes	±9	Juniper (dried)	±12
Wine	9-12	Raspberries	±3
Grape Pulp	3.3-3.8	Blackberries	±3
'Wineresten'	8.1-9.7	Gentian Root Mash	2.2-2.9
Wine Yeasts	5.5-6.6	Pure Gentian Roots	4-4.6 ²

¹The yield can be higher or smaller than the presented data depending on the year of harvest, quality and origin of the raw material.

²Without addition of water.

DISTILLATION

General Remarks

Distillation separates the alcohol and the aroma agents produced in the mash from the remaining components of which water is the predominant compound. Depending on the type of distillation equipment, heating apparatus, and operating procedure of the still a relatively neutral alcohol or a distillate enriched with undesired fewer volatile components (fusel oil) is obtained. Volatile components like aldehydes, ketones, and esters can be present in the mash in high concentrations. It is left to the skills of the distiller to separate undesired components without loss of aroma. The enrichment of the alcohol is achieved because its boiling point of 78.3 °C is substantially lower than that of water which boils at 100 °C. The heating of the mash therefore causes an enrichment of the more volatile alcohol in the gas phase.

Production of Coarse Distillate

The still vessel is filled with mash, wine, or beer up to 65-75 % and closed. For distillation of sediment yeasts the still is only to be filled half way. Viscous mashes which tend to burn with direct heating (e.g., Bartlett pear) are diluted with 20 % water. Pomaces which yield a low alcohol content are mixed preferentially with 20 % coarse spirit.

The heating of the still is done in such a way that the range of the last 10 degrees below the boiling point are passed through slowly such that strong foaming is prevented. It is also recommended to add so-called anti-foaming agents in dosages of 2-4 g per hl volume. After the first portions of the distillate are obtained the heating power can be increased.

At the beginning of the distillation the coarse distillate contains alcohol of 40-60 % vol. After approx. 2 hours the alcohol content in the drain reduces to 2-3 % vol.* At this point in time the distillation is interrupted; further distillation of the small portion of the alcohol remaining in the slops is not profitable anymore due to the heating costs. Moreover, an unnecessary dilution of the distillate would result. A too vigorous distillation of the coarse distillate is a mistake. Besides the damage to the aroma many unnecessary steam volatile components such as higher alcohols and fatty acids are entrained through excess amounts of distilled water.

Production of Fine Spirit

With the distillation of coarse spirit to fine spirit an intensification of the alcohol content as well as a purification (rectification) is achieved.

Depending on the size of the still 2-4 coarse spirit distillates are further

distilled. To achieve a successful separation of undesired constituents the distillation of fine spirit has to be carried out much more careful than the one for coarse spirit. For example, in the beginning of the distillation the distillate should be received in dropwise quantities. The first portions are received separately and collected as forerun (heads). Generally, this amounts to 1-1.5 l per hl coarse spirit. A somewhat different determination of the switching moment can be done if the distillate is collected in amounts of 200 ml and continuously tested through tasting (taste control). If the mashes used for brandies were damaged it may be necessary to collect up to 2.5 l from the forerun (heads). In the forerun (heads) the enrichment of the highly volatile components acetaldehyde and ethyl acetate is done both of which possess a sharp and pungent smell if present in excess. Eventually some turbidity may be observed in the forerun (heads). Its disappearance, however, must not be taken as the criteria for switching to the middle run (hearts).

During the onset of the middle run (hearts) the distillation should also not be forced because the separation of undesired fusel oils is only guaranteed in an acceptable way if the equilibrium between alcohol and water is achieved. Over time the alcohol content of the middle run (hearts) decreases. Just before a turbidity can be noted the spirit is collected in a different container. The alcohol grade strength serves as a guideline for the switching to the afterrun. For cherries the limiting values are around 55 % vol. and for Bartlett pears, plums and pomaceous fruit around 45 % vol. In addition to both criteria (clarity, alcohol strength) the results from smell and taste have to be taken into consideration. Portions of fusel oil, higher fatty acids and their esters which are distilled into the distillate at an initial alcohol content which is too low give a faded, dull character to the brandy ('blasé character'). If those changes are noted switching to the afterrun (tails) has to be done. Bad experiences were obtained when the switching to the afterrun (tails) was done for average alcohol contents of the fine spirit as low as 45 % vol.

The distillation of the afterrun (tails) can be forced; approximately a quarter of the coarse distillate is in the afterrun. The average alcohol content fluctuates between 15 and 25 % vol.; for stone and seed fruit it is rather between 20 to 25 %. The distribution of the fractions from the fine spirit distillation of 100 l coarse distillate from plums is given in the following overview:

- 1-2 l Forerun (heads) (75 % vol.)
- 30 l Middle run (hearts) (60-65 % vol.)
- 20-25 l Afterrun (tails) (20-25 % vol.)
- 40-45 l Still residuum (0.1-0.3 % vol.)

For fruit brandies distilled in simple stills - in comparison to distillations with intensification devices - higher alcohols end up primarily in the middle run (hearts). Even though those substances can partially be considered as aroma-giving components excess can disturb the harmony of the distillate significantly (palatal scratching, metal-kind flavor). It seems therefore advisable to switch to the afterrun (tails) rather earlier than later. The often-practiced method to add all forerun (heads) and afterruns to the next distillation step is not recommended. The impairment resulting from the addition is in opposition to the original purpose of cleaning the fine distillate. Foreruns (heads) and afterruns are preferably collected and distilled again into forerun (heads) and afterrun (tails) after appropriate treatment (carbon treatment, separation of esters). The middle run (hearts) thus obtained can be added to the distillates in small amounts.

COMPLETION OF THE DISTILLATES

Reducing to Drinkable Grade Strength

Most distillates (middle run (hearts)) have an alcohol content of more than 40-45 % vol. and have to be reduced in concentration after storage, i.e., blended with water*. The water to be used has to satisfy two main requirements:

1. Aroma and flavor neutrality (the character of the distillate must not be influenced in any way)
2. lowest possible content of hardness forming components such as calcium and magnesium (these can lead to undesired precipitation)

The use of freshly distilled water is best; but for reasons of costs (energy consumption) water softening methods are employed. In principle, rain water is excellently suited for this application assuming it is free of any contaminants (air pollution!), but the challenge of its collection makes it less than a practical alternative. Use of spring or natural waters should be approached with care and based on their mineral content. The treatment with ion exchangers for softening has proven successful in practice. The amount of water needed for the reduction to a certain alcohol grade strength can easily be determined using tables.

Cool Storage

Even with the use of completely softened blend water turbidity can occur in reduced distillates. The reason is the lower solubility of certain ingredients, e. g. terpenes, at a lower alcohol concentration. The solubility diminishes with decreasing temperature and the reduced distillates are subjected to a cool storage for some time. In this way the turbidity-forming

constituents can mostly be precipitated and separated through subsequent filtration. A cloudiness in the bottle should not occur, assuming of course, that this bottle is not stored at even lower temperatures.

Storage temperatures between 0 and -10 °C have proven suitable in practice for the precipitation of turbidity. A storage time of approx. 14 days has to be considered for a storage temperature of 0 °C whereas at -10 °C only half the time is required. Even lower temperatures are not recommended because the distillates become more viscous which complicates the filtration if it does not become entirely impossible. Using cooling temperatures above the freezing point does not guarantee a complete precipitation in all cases. It is important that the filtration following the cool storage is done at the same temperature because a renewed heating would otherwise cause the precipitated particles to dissolve again. For the cooling of small amounts of brandy, the containers (e.g., glass carboy) are best stored in a freezer.

Filtration

Funnel filters and cylinder filters as well as layered filter with hand pumps have proven suitable for the filtration of small amounts of spirits.

Funnel filters use pleated filters with different porosities. Their performance is better the more filter area can be used.

Distillates with a high content in natural oils such as juniper brandies, Bartlett pear brandies or herbal brandies are preferably adjusted to approx. 5 % vol. below drink strength before the cool storage. After the filtration at the cool storage temperature the alcohol content is increased using the same well-rectified distillate used as the base.

Bottling

The bottling of the completed brandies does usually not pose any difficulties. As with all beverage's only impeccably clean, well rinsed bottles are to be used. No danger of microbial infections is present due to the high alcohol content but mechanical impurities such as dust or glass splinters are easy recognized in the clear, colorless distillates. This means that even brand-new bottles delivered direct from the manufacturer should be checked for impurities and eventually be flushed and blown out. The bottling process and the closing of the bottles can naturally be done in a manual way for small producers. In the easiest case a simple outflow apparatus for bottom broaching consisting of a hose and squeeze clamp suffices. For top broaching a siphon with a manual pump is suited. For small-sized and medium-sized companies a variety of semi-automatic bottling machines are commercially available with which, despite their

simplicity, respectable capacities of several hundred bottles per hour can be achieved. Similar equipment exists for the capping of the bottles, for example with twist caps.

Still Operations

The still has a 230 liter /60.7596-gallon capacity.

A normal run for coarse distillates takes approximately 4 hours.

A normal day running the still will run twice a day, five days a week. This would produce 12.075 Liters per run or 24.15 Liters per day and 120.75 liters per 5-day work week.

Coarse distillate will then be stored at room temperature in an approved container.

Fine distillate will be produced once a week.

DESIGNATED AGENT AUTHORIZATION

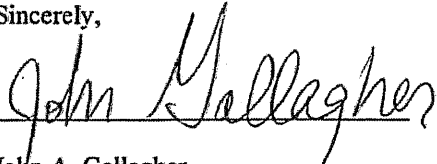
Date 06/16/2023

To Whom it May Concern:

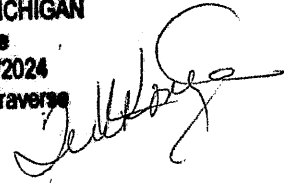
I / we Gallagher Farms LLC authorize C.F. Campbell of JML Design Group Ltd. to serve as my agent in overseeing all improvements relating to my property

at: 8629 E. Lincoln Road

Sincerely,


John A. Gallagher

Teri Kay Konyha
NOTARY PUBLIC - STATE OF MICHIGAN
County of Grand Traverse
My commission expires 3/29/2024
Acting in the county of Grand Traverse



SOIL EROSION CONTROL PERMIT

Leelanau Conservation District
Leelanau County Erosion Control Office
8527 E. Government Center Dr., Suite 205
Suttons Bay, MI 49682
Phone: 231-256-9783 Fax: 231-256-7851

PERMIT NUMBER: 22-565

Fee Paid: \$218.00 ch#1404
Site Visit Date: 12/16/22
Date Issued: 12/16/22
Expiration Date: 12/16/23
Extension Date: Fee:

Under the provisions of Soil Erosion and Sedimentation Control, Part 91 of Act 451, authority is hereby granted to:

OWNER /PERMITTEE

Name: John Gallagher

Address: 8300 E Breithaupt

City: Traverse City

State/Zip: MI 49684

Phone: 231-342-1351

CONTRACTOR

Name: John Gallagher JR

Address: same

City: same

State/Zip: same

Phone: same

LOCATION OF PROJECT

No. & Street: 8629 E Lincoln Rd

Section/Range:

Township: Elmwood

Subdivision: N/A

Property Tax #: 004-030-001-00

ON-SITE RESPONSIBLE PERSON: John Gallagher Jr

EGLE PERMIT NUMBER: N/A

DESCRIPTION OF EARTH CHANGE:

Clearing and leveling for MULTIUSE building. Constructing building and creating stormwater basin.

PERMIT CONDITIONS (SPECIFIC):

NO SEDIMENT OR ADDITIONAL STORM WATER IS ALLOWED TO FLOW ONTO NEIGHBORING PROPERTY.

INSTALL SILT FENCE AS NEEDED TO KEEP SEDIMENT ON SITE AND MAINTAIN FOR THE DURATION OF THE PROJECT. REMOVE ONLY AFTER THE SITE IS STABLE.


Erosion Control Officer

THIS PERMIT MUST BE POSTED AT THE PROJECT SITE

YOU MUST NOTIFY THE CONSERVATION DISTRICT UPON COMPLETION OF YOUR PROJECT.

ADDITIONAL CONDITIONS WILL BE FOUND ON THE REVERSE SIDE



Tax Parcel Viewer

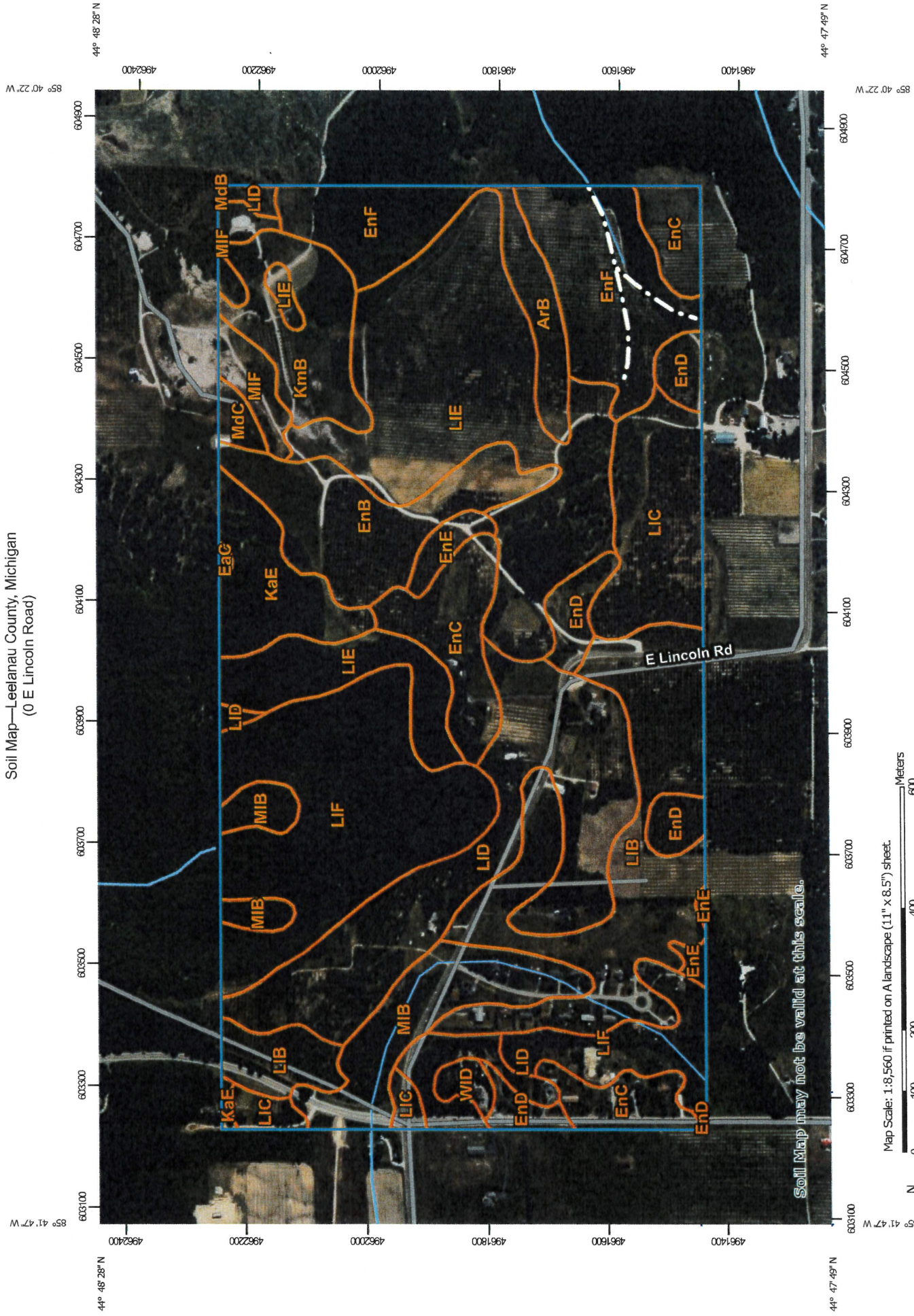
Lansdowne County, Michigan

Parcel, Last Name, or Address



44.801, -85.688 Degrees

Soil Map—Leelanau County, Michigan
(0 E Lincoln Road)



Map Scale: 1:8,560 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84

MAP LEGEND

- Area of Interest (AOI)**
 - Area of Interest (AOI)
- Soils**
 - Soil Map Unit Polygons
 - Soil Map Unit Lines
 - Soil Map Unit Points
- Special Point Features**
 - Blowout
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gravelly Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Perennial Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features**
 - Streams and Canals
- Transportation**
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background**
 - Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale. Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Leelanau County, Michigan
Survey Area Data: Version 16, Aug 26, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 2, 2020—Nov 12, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
ArB	Alcona-Richter sandy loams, 2 to 6 percent slopes	5.5	1.8%
EaC	East Lake loamy sand, 6 to 12 percent slopes	0.2	0.1%
EnB	Emmet-Leelanau complex, 2 to 6 percent slopes	16.2	5.2%
EnC	Emmet-Leelanau complex, 6 to 12 percent slopes	17.8	5.7%
EnD	Emmet-Leelanau complex, 12 to 18 percent slopes	9.3	3.0%
EnE	Emmet-Leelanau complex, 18 to 25 percent slopes	2.9	0.9%
EnF	Emmet-Leelanau complex, 25 to 50 percent slopes	24.9	8.0%
KaE	Kaleva sand, 18 to 35 percent slopes	10.0	3.2%
KmB	Kiva-Mancelona gravelly sandy loams, 2 to 6 percent slopes	11.9	3.8%
LIB	Leelanau-East Lake loamy sands, 0 to 6 percent slopes	36.3	11.7%
LIC	Leelanau-East Lake loamy sands, 6 to 12 percent slopes	17.1	5.5%
LID	Leelanau-East Lake loamy sands, 12 to 18 percent slopes, lake moderated	39.5	12.7%
LIE	Leelanau-East Lake loamy sands, 18 to 25 percent slopes, lake moderated	53.8	17.3%
LIF	Leelanau-East Lake loamy sands, 25 to 45 percent slopes	41.6	13.4%
MdB	Mancelona sandy loam, 0 to 6 percent slopes	0.1	0.0%
MdC	Mancelona sandy loam, 6 to 12 percent slopes	1.5	0.5%
MIB	Mancelona-East Lake loamy sands, 0 to 6 percent slopes, lake moderated	16.2	5.2%
MIF	Mancelona-East Lake loamy sands, 25 to 45 percent slopes	5.2	1.7%
WID	Wind eroded land, steep	1.5	0.5%
Totals for Area of Interest		311.2	100.0%

EGLE Wetlands Map Viewer

Department of Environment, Great Lakes, and Energy

Map View
Map Legend

Basemaps

-
-
-
-

* Rockford Plat maps are only available at zoom levels greater than 13.



EGLE Wetlands Map Viewer

Department of Environment, Great Lakes, and Energy

Elmwood Twp

Navigation controls: back, zoom in (+), zoom out (-), and refresh icons.

Map View Search Tools Share

Map Legend Base Maps About

Basemaps

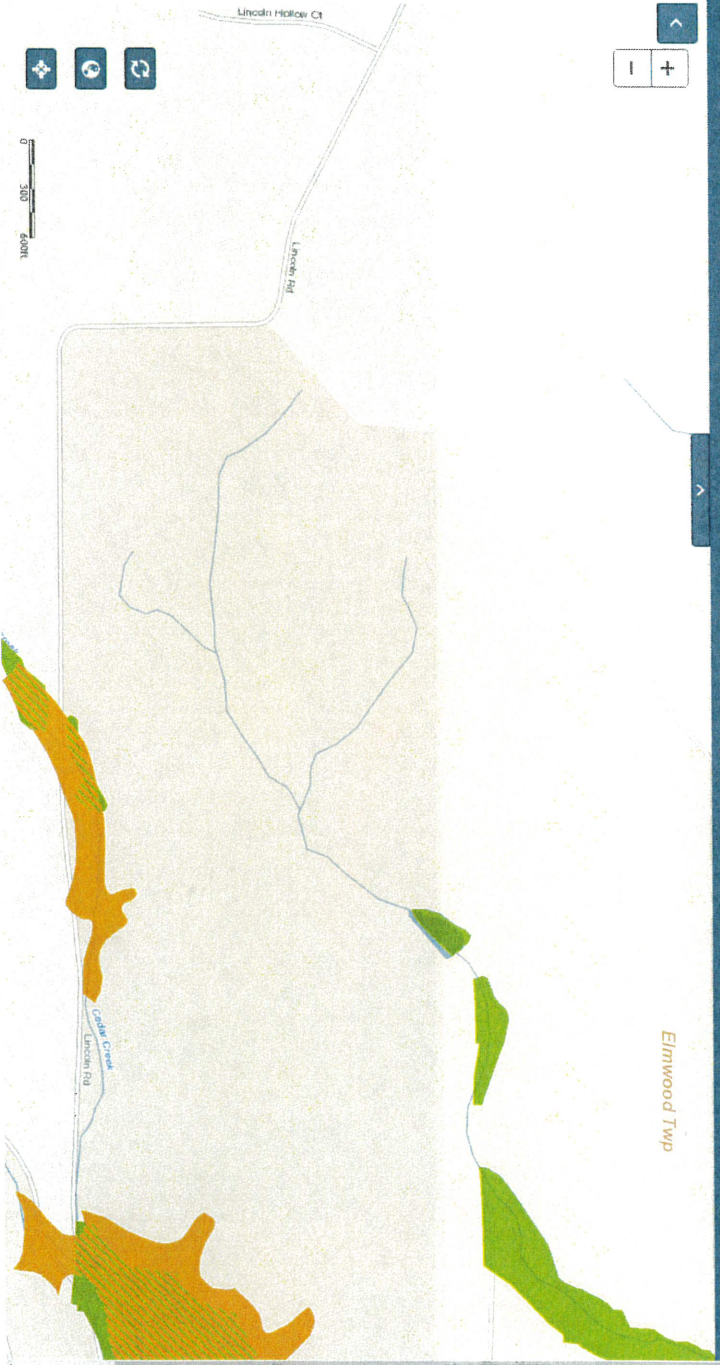
Street Hybrid Hi-Res

Topo Plat Elevation

1998 2005 2009 2010

2012 2014 2016 2018 2020

* Nonford Plat maps are only available at zoom levels greater than 13.



Elmwood Township Fire and Rescue Department
10090 E. Lincoln Road, Traverse City, MI 49684
Station: (231) 941-1647 / Fax: (231) 941-9927 / Email: ktampa@elmwoodfire.org

SITE PLAN REVIEW

To: Planning Commission, Charter Township of Elmwood
Sarah Clarren, Planning and Zoning Administrator, Charter Township of Elmwood

REVIEW DATE: September 19, 2023

REVIEWED BY: Keith Tampa, Fire Chief

PROJECT NAME: Gallagher Distillery
LOCATION: 0 E. Lincoln Road, Cedar, MI 49621
PROP. TAX ID: 004-030-001-00
APPLICANT: JML Design Group, Ltd., 22 E. 16th Street, Traverse City, MI 49684

SCOPE

This review applies to features allowing for a safe and efficient emergency response by the Elmwood Township Fire and Rescue Department when facing issues related to life safety, incident stabilization, and property conservation. The information provided in this review is for consideration by the Elmwood Township Planning Commission (Planning Commission) during its plan review process and does not necessarily include the requirements or recommendations of other authorities. Any requirements or recommendations presented in this review are subject to approval or alteration by the Planning Commission or other authority having jurisdiction.

ASSUMPTIONS

- The applicant will comply with all applicable federal, state, and local laws and building codes.
- All structures within this project are subject to review by the Leelanau County Department of Building Safety for determining occupancy classification, occupancy load, and additional life safety and fire protection requirements.
- Any conflicts between fire department requirements and recommendations and any law, ordinance, or code will be brought to the attention of the Elmwood Township Fire Chief for further review.
- All assumptions and recommendations are based solely on the fire department's perspective to life safety and hazard mitigation and may not include the requirements or recommendations of other authorities.

DEFINITIONS

- Exposure Any structure greater than 100 sq./ft. located within 50 feet of another.
- Fire Department The Elmwood Township Fire and Rescue Department
- Township: The Charter Township of Elmwood, Leelanau County, MI
- Plan(s) All documents found under the "Reviewed Documents" section at the end of this site plan review

INTRODUCTION

The presented project is for the new construction of a distillery and tasting room at the noted location. The project plans indicate a sole building that will house production, cold storage, a tasting room, and associated offices and support facilities (lab, restrooms, mechanical). The facility will be accessed by a shared drive from Lincoln Road.

The project is zoned Agricultural-Rural and is located approximately 1.9 miles from the Elmwood Township Fire Station and 6.3 miles from a staffed mutual aid fire station.

STRUCTURES AND EXPOSURES

The plans indicate the new construction of a single-story large building approximately 7000 sq. ft. in size. The building is approximately 28 feet high to the eaves of the upper roof and has a peak height of approximately 34 feet. The main floor has a 2-hour fire wall separating the tasting room from the rest of the facility, the production floor, storage, and associated offices. Square footage for three (3) occupancy types is listed as:

• Factory (F-1)	5,169 sq. ft.
• Storage (S-1)	731 sq. ft.
• <u>Assembly (A-2)</u>	<u>1,100 sq. ft.</u>
Total	7,000 sq. ft.

The structure has pedestrian access doors on all sides and four (4) roll-up doors on the east, north, and south (2) sides. Access to the exterior doors does not appear restricted.

The building does not appear to have a basement or crawl space.

No other structures are shown on the plans that would constitute an exposure risk (fire).

FIRE APPARATUS ACCESS AND MOVEMENT

The project is accessed by a shared driveway from E. Lincoln Road. The distance from E. Lincoln Road to the proposed project site is approximately ¼ mile. Two (2) drives, each approximately 240 feet long, lead off the shared drive to the building’s parking lot, one entering from the north and the other from the south. The two-drive configuration creates a loop back on to the main shared access. The clear travel lane in the parking area is 40 feet, exclusive of any parking spaces.

The shared access drive, the twin drives, and the parking lot are being considered the Fire Apparatus Access Lane (FAAL)

Access – Buildings / Facilities

Both drives and the parking area allow access within 150 feet of all portions of the building and the exterior walls of the first story.

The project building is remote from the main public right-of-way and should have additional identifying address numbers/signage placed in approved locations to facilitate emergency response.

Turn Radius

Radii appear acceptable and should not impede access.

Gates and Fences

No gates or fences are shown on the plans that would interfere with a fire department response.

Dead Ends and Turn Arounuds

The “looped” drive created by the twin drives and parking area negate a requirement for a turn-around.

Grades

Grades are acceptable along all drives and the parking area that create the FAAL.

Aerial Fire Apparatus Access

Not needed.

Bridges

No bridges are indicated on the plans.

LIFE SAFETY AND HAZARD CONSIDERATIONS

Life safety and hazards are expected to be those typical of the production, processing, and storage of a flammable liquid (alcohol). As this is a new building, hazards associated with these processes will be addressed by the Leelanau County Department of Building Safety and may exceed any conditions proposed in this review.

Mitigation topics may include:

- Special fire protection needs
- Hazard control areas
- Spill control/containment
- Atmosphere monitoring
- Ventilation
- Storage – Max. allowable quantities
- Emergency planning

Elmwood Township Fire and Rescue Department

10090 E. Lincoln Road, Traverse City, MI 49684

Station: (231) 941-1647 / Fax: (231) 941-9927 / Email: ktampa@elmwoodfire.org

The applicant is also advised that the fermenters and still to be located within this facility may be classified as "confined spaces." EFD does not have its own confined space rescue team and relies on a regional team for response. Therefore, any MIOSHA requirements for a confined space rescue team on standby for entry **cannot** be met by EFD.

FIRE SUPPRESSION AND WATER SUPPLY

The project is not served by a municipal water system capable of meeting fire suppression and rescue needs. This required consideration of an alternative water supply. As a result, the National Fire Protection Association's (NFPA) Standard 1142, *Standard on Water Supplies for Suburban and Rural Fire Fighting* was used to determine the minimum water supply needed for fire suppression. NFPA 1142 uses a formula that considers the structure's volume, construction classification, occupancy hazard classification, and exposure risk to determine how much water should be available for fire suppression and at what rate the fire department should be able to deliver it.

Calculations indicate an initial minimum water supply need of approximately 28,922 gallons with a delivery rate of 1000gpm. This calculation is based on the building's largest fire area. This minimum water supply **cannot** be met by standard fire department operations within the first, second, and third alarm assignments.

The minimum water supply needed for fire suppression may also be impacted by building code requirements and will not be completely known until after the Leelanau County Department of Building Safety has completed its review. The minimum amount of water may be adjusted after this review but should be no less than 10,000 gallons. This amount was adjusted down from the initial calculation based on:

- Water carried on responding fire apparatus
- Water tanker delivery rates using the nearest year-round water point
- Time, distance, and availability of other firefighting resources
- Use of firewalls or other fire control systems.

EXCERPTS FROM THE IFC

- **503.1.1 Buildings and facilities.** *Approved* fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 750 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an *approved* route around the building or facility.

Exception: The *fire code official* is authorized to increase the dimension of 150 feet (45 750 mm) where:

1. The building is equipped throughout with an *approved automatic sprinkler system* installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
3. There are not more than two Group R-3 or Group U occupancies. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*

- **503.2.1 Dimensions.** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for *approved* security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm). IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.

- **503.2.7 Grade.** The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*
- **503.3 Marking.** Where required by the *fire code official*, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which *fire lanes* are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
- **503.4 Obstruction of fire apparatus access roads.** Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Section 503.2.1 shall be maintained at all times. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.

(Note: Maintenance of the FAALs will require management of snow removal and storage.)

- **503.2.5 Dead ends.** Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an *approved* area for turning around fire apparatus. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
- **505.1 Address identification.** New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the *fire code official*, address numbers shall be provided in additional *approved* locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 05 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the *public way*, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. IFC (2012) – Chapter 5 Fire Service Features – Section 505: *Premise Identification*.
- **B103.3 Areas without water supply systems.** For information regarding water supplies for fire-fighting purposes in rural and suburban areas in which adequate and reliable water supply systems do not exist, the *fire code official* is authorized to utilize NFPA 1142 or the *International Wildland Interface Code*. IFC (2012) – Appendix B Fire-Flow Requirements For Buildings – Section B103: *Modifications*.
- **D103.2 Grade.** Fire apparatus access roads shall not exceed 10 percent in grade.
Exception: Grades steeper than 10 percent as *approved* by the fire chief. IFC (2012) – Appendix D Fire Apparatus Access Roads – Section D103: *Minimum Specifications*.

RECOMMENDATIONS OF CONDITIONS

1. Applicant shall comply with IFC standards for clear widths and the maintenance of all fire apparatus access lanes. Reference: IFC 503.2.1 & 503.4.

2. Applicant shall provide address identification visible from the public right-of-way and at other approved locations to facilitate emergency response. Address identification and approved locations will comply, at a minimum, with IFC standards. Reference: IFC 505.1.
3. Applicant shall provide an alternative source of water for fire suppression meeting the minimum standards addressed in the above narrative. The alternative source shall be reviewed by the fire department prior to implementation and may consist of one method or a combination of solutions. All options will require coordination with EFD for compliance with the style, type, and location of fittings and compliance with EFD operational standards.
4. Applicant shall meet any additional requirements for hazard notification and mitigation, including fire suppression, imposed by other authorities. This may include the increasing of the minimum amount of water available for fire suppression needs.

SUMMARY

The details presented above are based on the below referenced documents. It is my advice that the applicant comply with the recommendations stated in the above narrative to support emergency response and hazard mitigation. Some of those recommendations may be subject to the building code and/or may need to be addressed during the appropriate phase of construction, require additional review, field inspection, or the submittal of certifying documents to the appropriate authority. Any changes in the presented documents not addressed above, and that may impact emergency response and fire control, shall be brought to the attention of the Fire Chief for further review.

REVIEWED DOCUMENTS

- Gallagher Distillery, JML Design Group (JML), Date: 6/16/2023 (rev.).
 - Cover, Cover Page
 - C1.1, Overall Site Plan
 - C1.2, Enlarged Site Plan
 - A1.1, Floor Plan
 - A2.1, Exterior Elevations (south, west)
 - A2.2, Exterior Elevations (north, east)
- Leelanau County Web Site, Tax Parcel Viewer.

REFERENCE DOCUMENTS

- International Fire Code (IFC)
- National Fire Protection Association (NFPA) Standard 1142, Standard on Water Supplies for Suburban and Rural Fire Fighting

Reviewed By:

Keith Tampa / Fire Chief
Signature / Title

9/19/2023

Date

PROPOSED DISTILLERY FOR GALLAGHER FARMS TRAVERSE CITY, MICHIGAN

ARCHITECT:

JML DESIGN GROUP, LTD.
225 E. 16TH STREET, SUITE B
TRAVERSE CITY, MI. 49684
PHONE: (231) 947-9019
EMAIL: jmlag@att.net

OWNER:

JOHN A. GALLAGHER, III
8855 STRANG ROAD
TRAVERSE CITY, MICHIGAN
49686

CONTACT:

MR. JOHN A. GALLAGHER, III
PHONE: (231) 360-3243

LIST OF DRAWINGS:

CI.1	COVER SHEET
CI.2	SITE PLAN
AI.1	ENLARGED SITE PLAN
AI.2	FLOOR PLAN
AI.3	REFLECTED CEILING PLAN
A2.1	REFLECTED CEILING PLAN
A2.2	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A6.1	TOILET DETAILS
SI.1	SCHEDULES
SI.2	FOUNDATION PLAN
SI.3	FOUNDATION DETAILS
SI.4	ROOF FRAMING PLAN
MI.1	FRAMING DETAILS
MI.2	MECHANICAL PLAN
EI.1	MECHANICAL DETAILS
EI.2	ELECTRICAL PLAN
PI.1	ELECTRICAL DETAILS
PI.2	PLUMBING PLAN
	PLUMBING DETAILS

BUILDING PLANNING	
BUILDING CODE REQUIREMENTS CONFORMS TO	2015 MICHIGAN BUILDING CODE
BUILDING USE GROUP	(F-1) FACTORY; (S-1) STORAGE (A-2) ASSEMBLY
CONSTRUCTION CLASSIFICATION	TYPE 5B
FIRE SUPPRESSION SYSTEM	NO FIRE SUPPRESSION REQUIRED
BUILDING ALLOWED	TABULAR SF FRONTAGE INCREASE SF
ALLOWED S.F.	N/A
TOTAL ALLOWED S.F.	F-1: 8,500 SF; S-1: 9,000 SF; A-2: 6,000 SF.
STORIES ALLOWED	F-1: (1) STORY; S-1:(1) STORY; A-2: (1) STORY
HEIGHT ALLOWED	40'-0"
BUILDING CONTAINS	
ACTUAL S.F.	F-1: 5,164 SF; S-1: 731 SF; A-2: 1,100 SF.
ACTUAL STORIES	7,000 SF TOTAL
ACTUAL HEIGHT	(1) STORY
OCCUPANT LOAD	F-1: (52) PERSONS; S-1: (2) PERSONS; A-2: (47) PERSONS
	(128) PERSONS TOTAL
FIRE RESISTANCE RATINGS	
PRIMARY STRUCTURE FRAME	(0) HOURS
EXTERIOR BEARING WALL	(0) HOURS
INTERIOR BEARING WALL	(0) HOURS
NON-BEARING WALLS/PARTITIONS	(0) HOURS
FLOOR CONSTRUCTION	(0) HOURS
ROOF CONSTRUCTION	(0) HOURS
TENANT SEPARATION WALLS	(2) HOURS
GENERAL NOTES	

PLUMBING CALCULATIONS	
F-1: MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES	
(1) WATER CLOSET	(1) WATER CLOSET
A-2: MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES	
MALE: (37) PERSONS	FEMALE: (37) PERSONS
(1) WATER CLOSET	(1) WATER CLOSET
(1) LAVATORY	(1) LAVATORY
(1) SERVICE SINK	
(1) HIGH/LOW DRINKING FOUNTAIN	

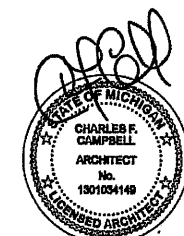


JML DESIGN GROUP, LTD.

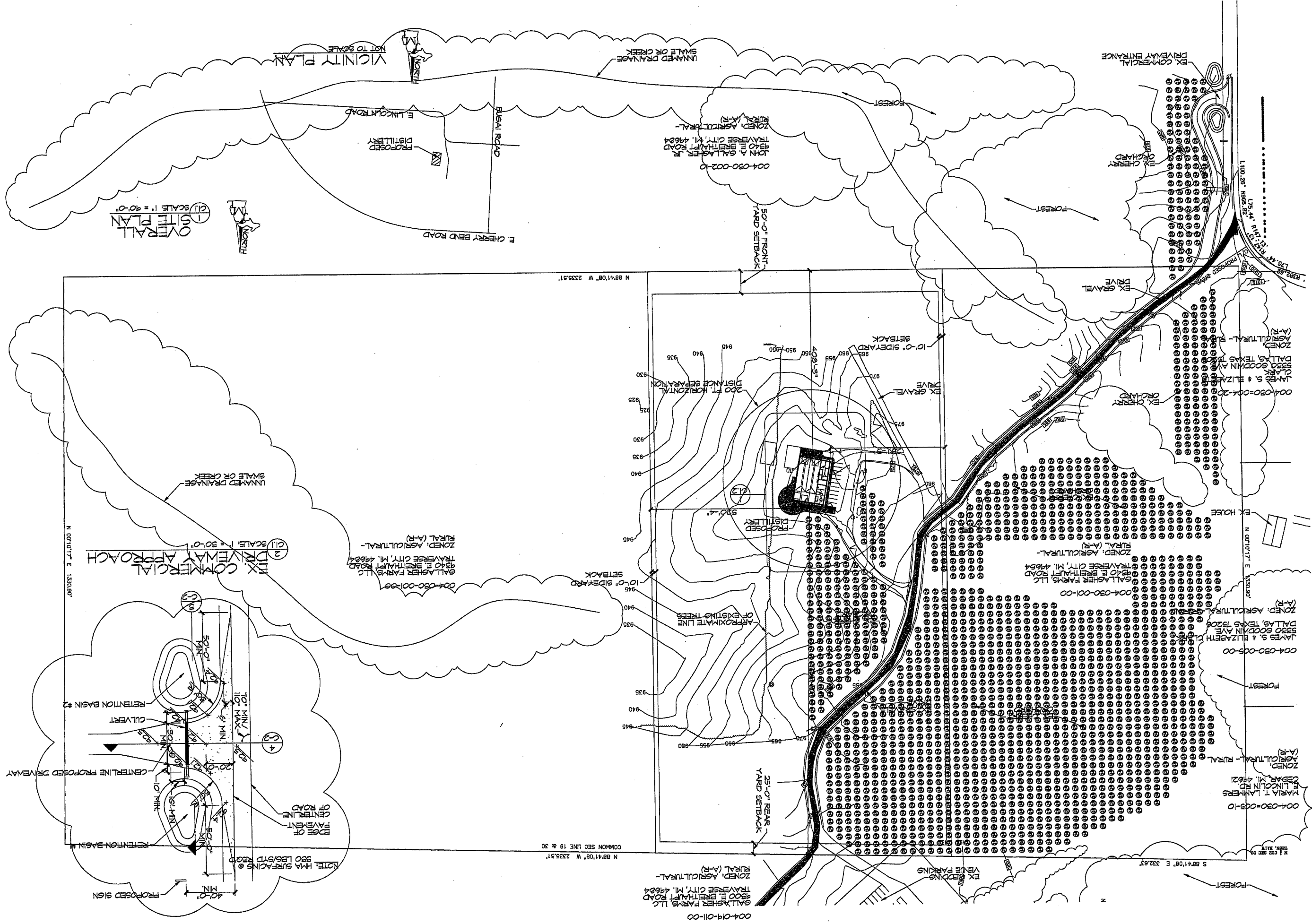
225 E. 16TH STREET, SUITE B

TRAVERSE CITY, MICHIGAN 49684

(231) 947-9019

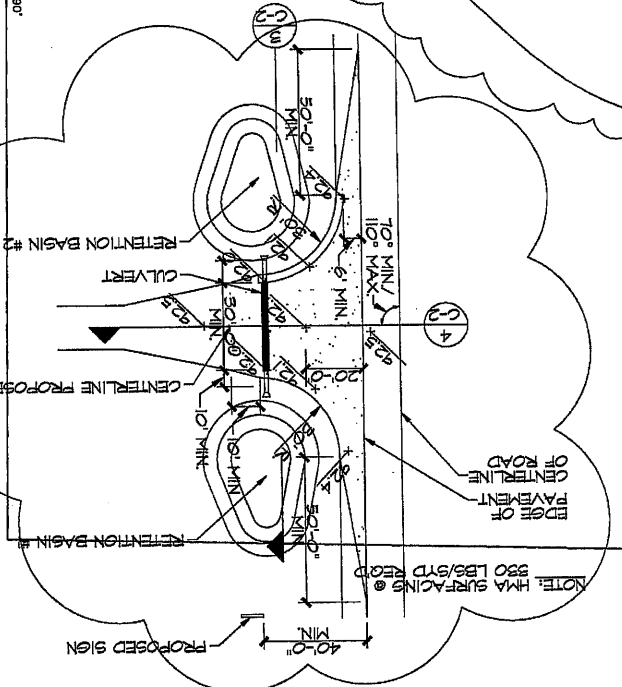


sheet title: COVER SHEET
 project name: GALLAGHER DISTILLERY
 date: 06/16/23
 sheet: COVER
 preliminary construction
 project location: 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686
 owner information: JOHN A. GALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686
 volume: 06/16/23 ISSUED FOR PLANNING
 architect: CF CAMPBELL, phone: (231) 947-9019, e-mail: jmlag@att.net
 scale: AS NOTED
 drawn: CFC/JEB/MD



(1) SCALE: 1" = 40'-0"
OVERALL SITE PLAN

(2) SCALE: 1" = 30'-0"
DIX COMMERCIAL DRIVEWAY APPROACH



NOTE: HMA SURFACING @ 530 LBS/STD YD.
9'-0" MIN. SIDEWALK
9'-0" MIN. SIDEWALK

Sheet: 01
Date: 06/16/23

Project Status: Preliminary Construction

Project Title: OVERALL SITE PLAN
Project Name: GALLAGHER DISTILLERY

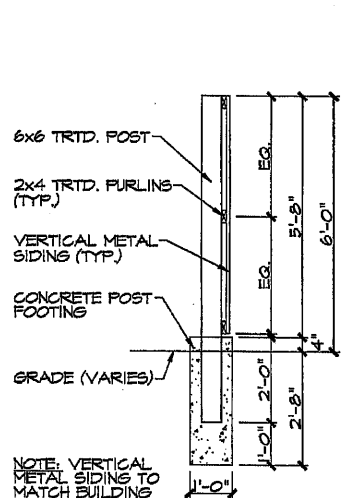
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Revision: 06/16/23 ISSUED FOR PLANNING
05/05/23 REVISED

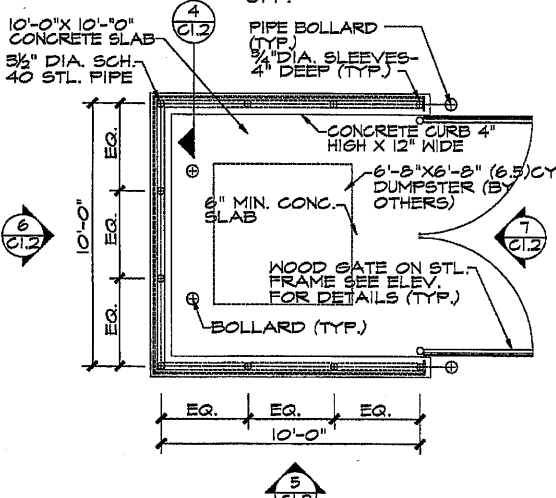
Architect: CF CAMPBELL
Phone: (231) 447-4014
Email: jmc@cfcbell.com

Scale: AS NOTED
Drawn: CF/C/LEB/MD

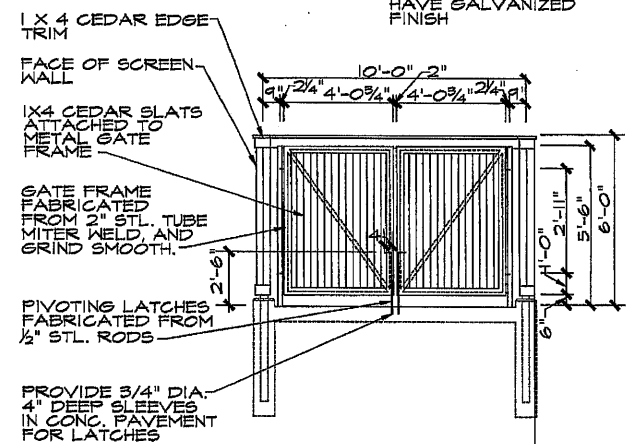
J.M. DESIGN GROUP, LTD., 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684



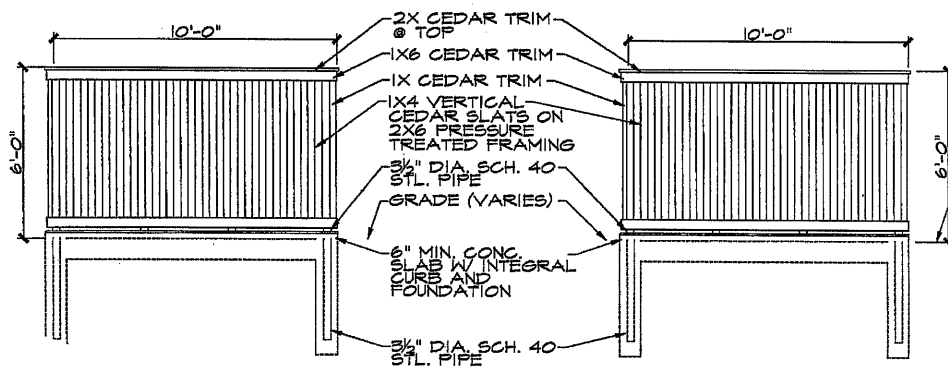
4 TYPICAL FENCE SECTION
 (1/2) SCALE, NOT TO SCALE



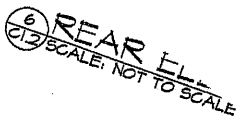
5 DUMPSTER ENCLOSURE PLAN
 (1/2) SCALE, NOT TO SCALE



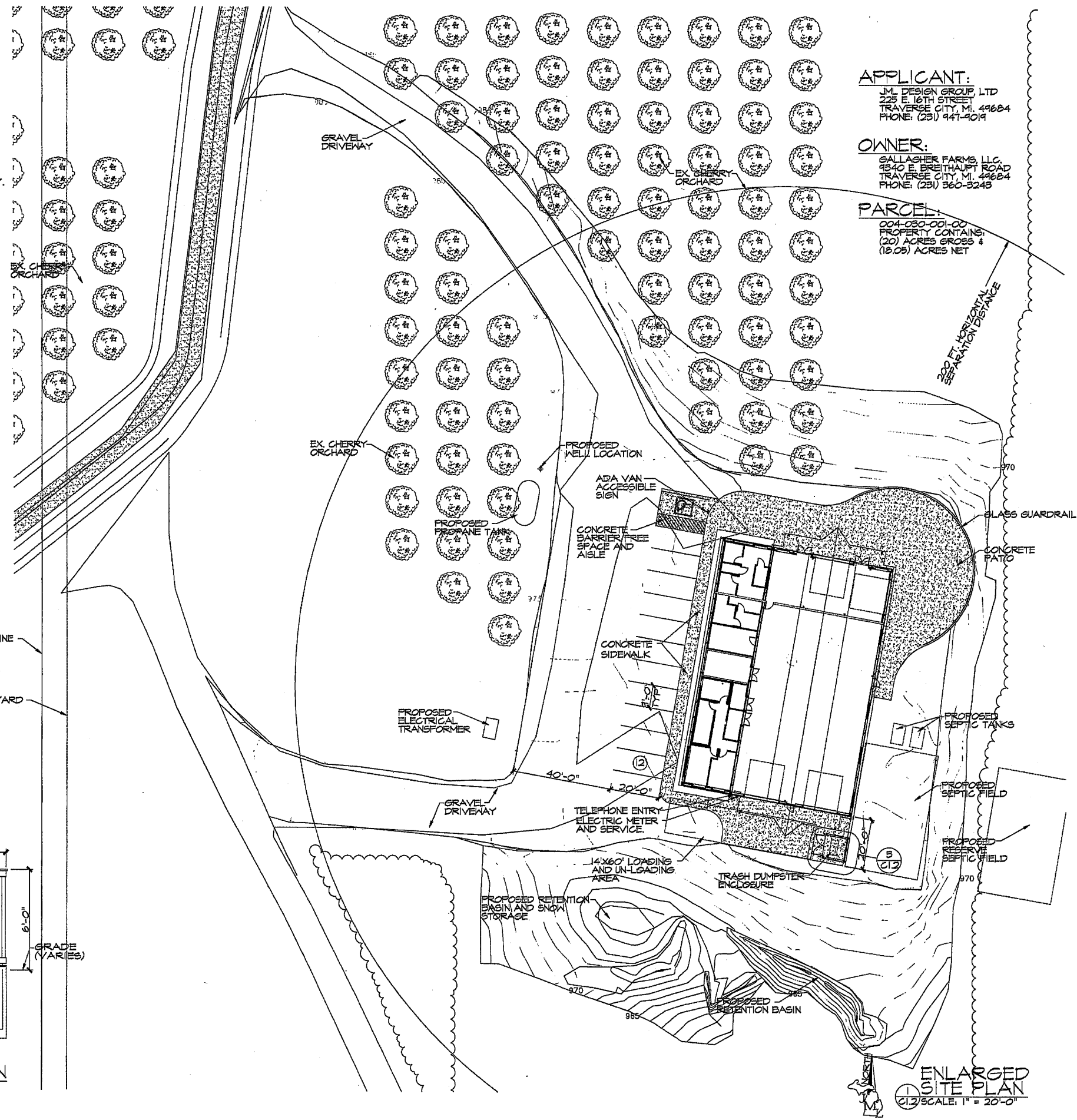
7 FRONT ELEVATION
 (1/2) SCALE, NOT TO SCALE



8 SIDE ELEVATION
 (1/2) SCALE, NOT TO SCALE



6 REAR ELEVATION
 (1/2) SCALE, NOT TO SCALE



APPLICANT:
 JML DESIGN GROUP, LTD
 225 E. 16TH STREET
 TRAVERSE CITY, MI. 49684
 PHONE: (231) 947-9019

OWNER:
 GALLAGHER FARMS, LLC
 9540 E. BREITHAUPT ROAD
 TRAVERSE CITY, MI. 49684
 PHONE: (231) 360-3248

PARCEL:
 004-030-001-00
 PROPERTY CONTAINS:
 (20) ACRES GROSS &
 (18.05) ACRES NET

1 ENLARGED SITE PLAN
 (1/2) SCALE, 1" = 20'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

AS NOTED
 draw: CFC/JEB/MD

DATE: 06/16/23
 SHEET: C1.2

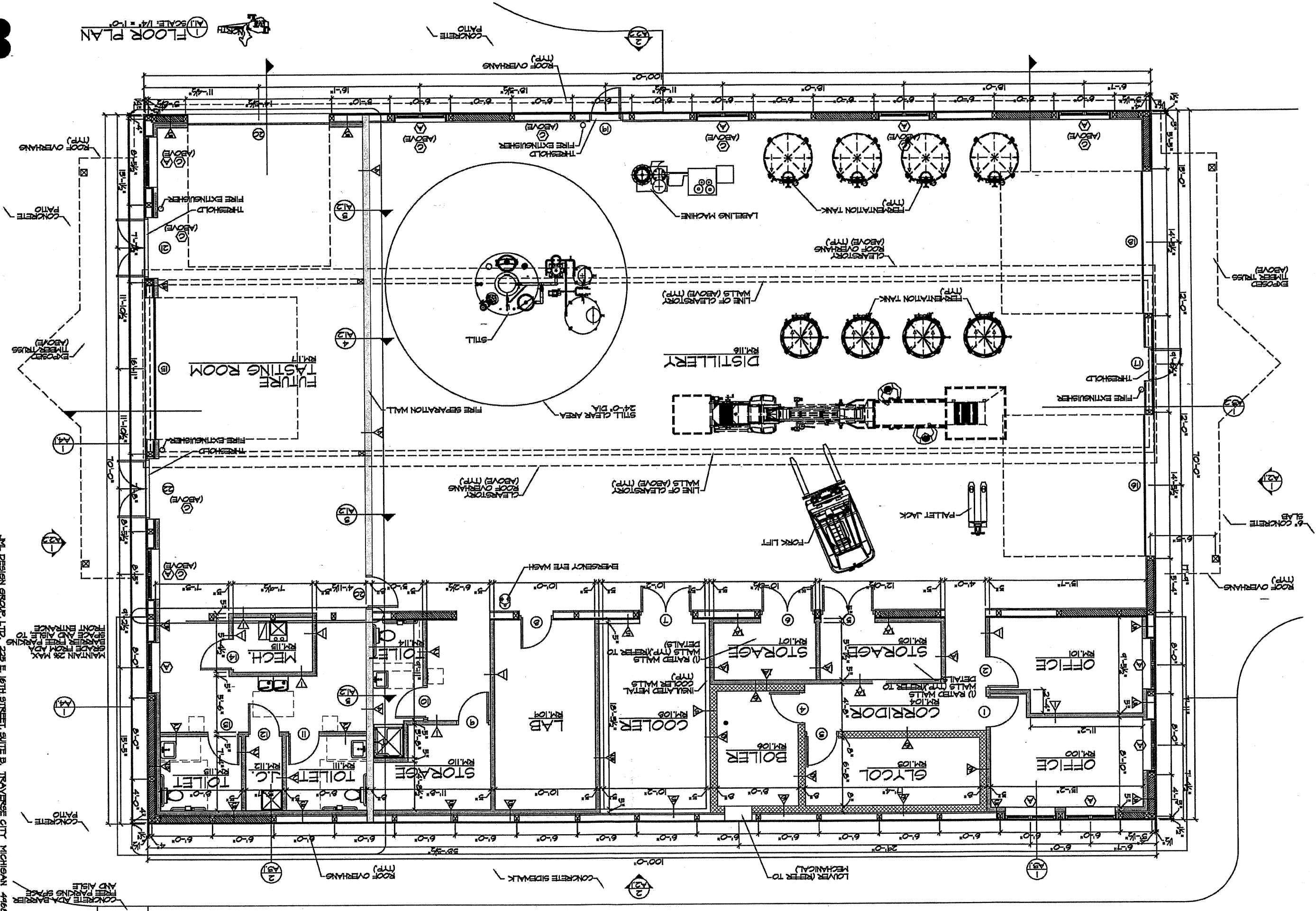
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OWNER INFORMATION: GALLAGHER FARMS, LLC, 9540 E. BREITHAUPT ROAD, TRAVERSE CITY, MICHIGAN 49684

PROJECT TITLE: ENLARGED SITE PLAN FOR GALLAGHER DISTILLERY

DATE: 06/16/23
 SHEET: C1.2

1 FLOOR PLAN
 ALL SCALE 1/4" = 1'-0"
 NORTH



Sheet: A.1
 Date: 06/16/23

Prepared by: JML
 Construction: 0

Project Name: FLOOR PLAN
 Gallagher Distillery

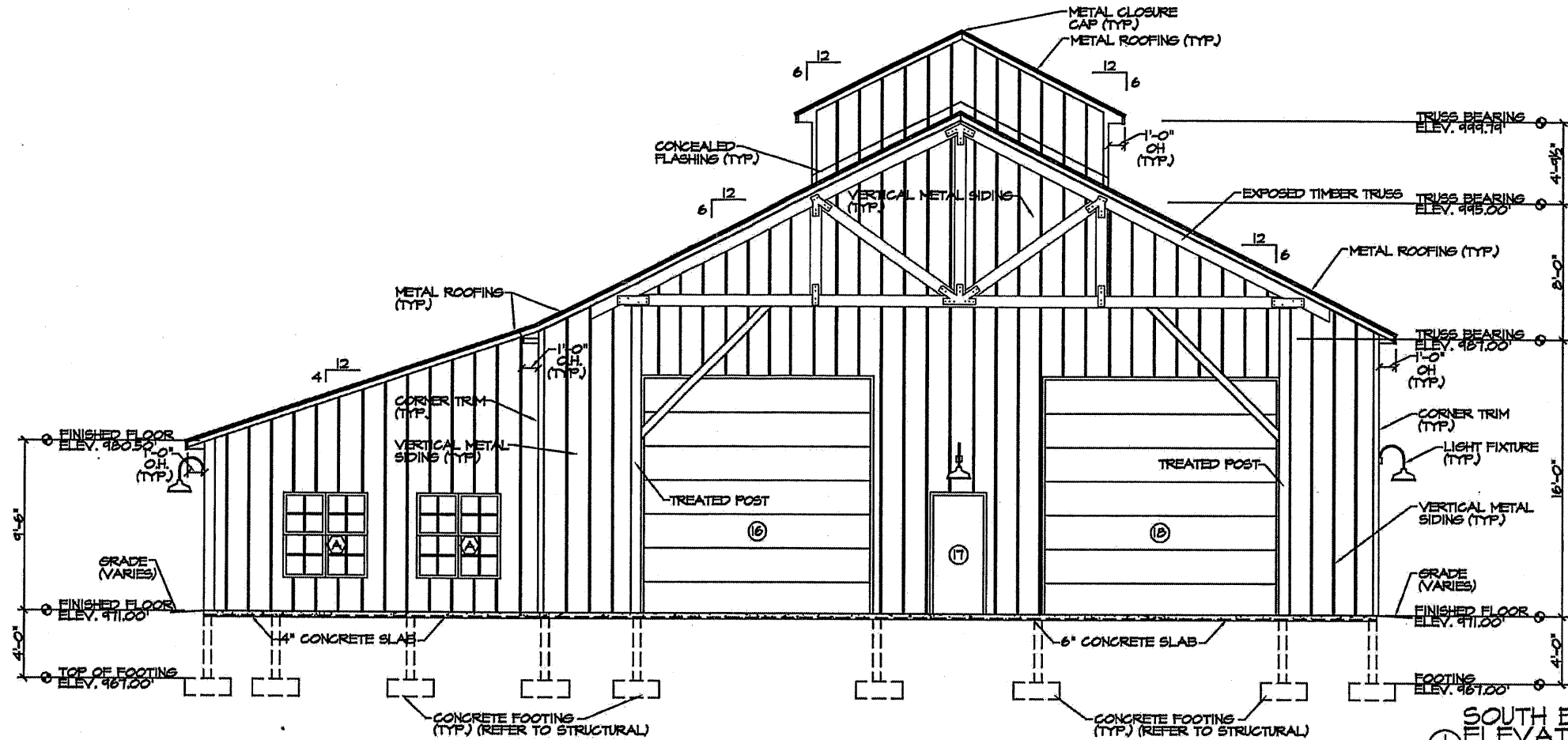
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 Client: JOHN A. GALLAGHER III
 49686 TRAVELER STREET, TRAVERSE CITY, MICHIGAN 49686

Working Date: 06/16/23
 Revised For: PLANNING

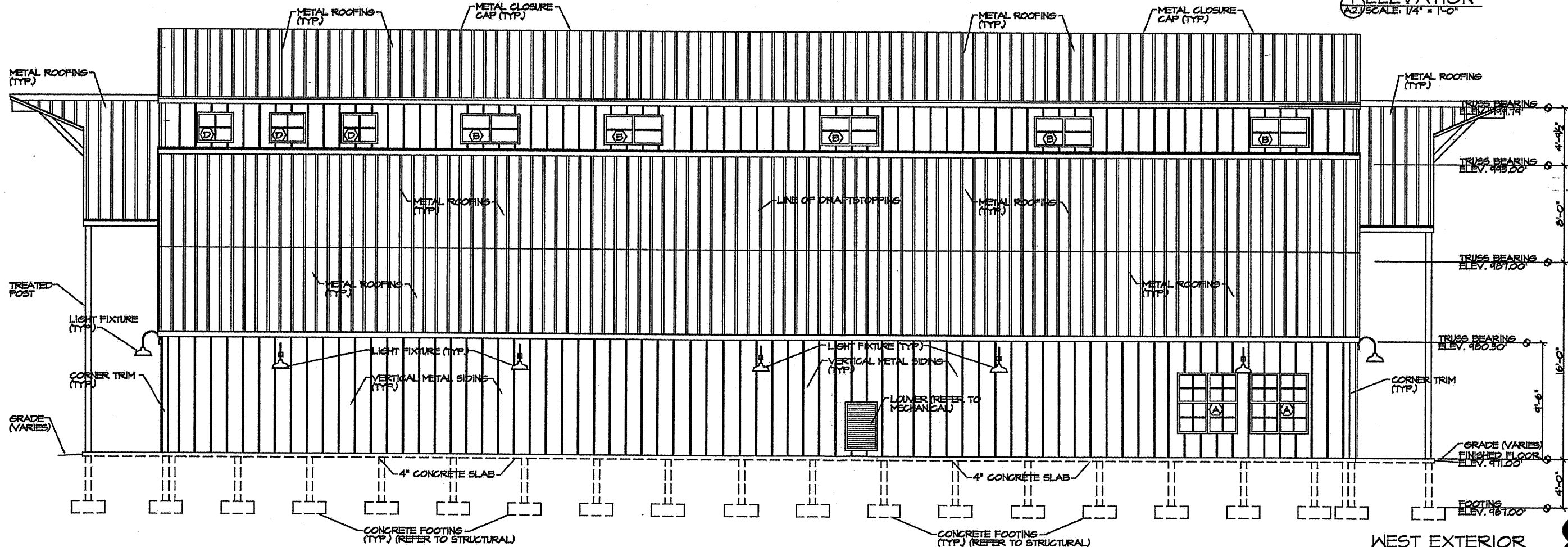
Architect: OF CAMPBELL
 Phone: (231) 447-4014
 Email: jml@ofcambell.com

Notes: AS NOTED
 Drawn: CFC/LSB/MD

JML DESIGN GROUP, LTD., 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684



SOUTH EXTERIOR ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"



WEST EXTERIOR ELEVATION
 A2.1 SCALE: 1/4" = 1'-0"

J.M.L. DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

scale: AS NOTED
 drawn: CFC/JEB/MD

client: CF CAMPBELL
 phone: (231) 447-1014
 e-mail: jml@jmlgroup.net

revision: 06/16/23 ISSUED FOR PLANNING
 04/25/23 REVISED

project location: JOHN A. SALLAGHER, III
 2855 STRANS ROAD
 TRAVERSE CITY, MICHIGAN
 49686

sheet title: EXTERIOR ELEVATIONS
 project name: SALLAGHER DISTILLERY

date: 06/16/23
 sheet: A2.1

status: construction

A2.2
 06/16/23
 06/16/23

Preliminary
 construction

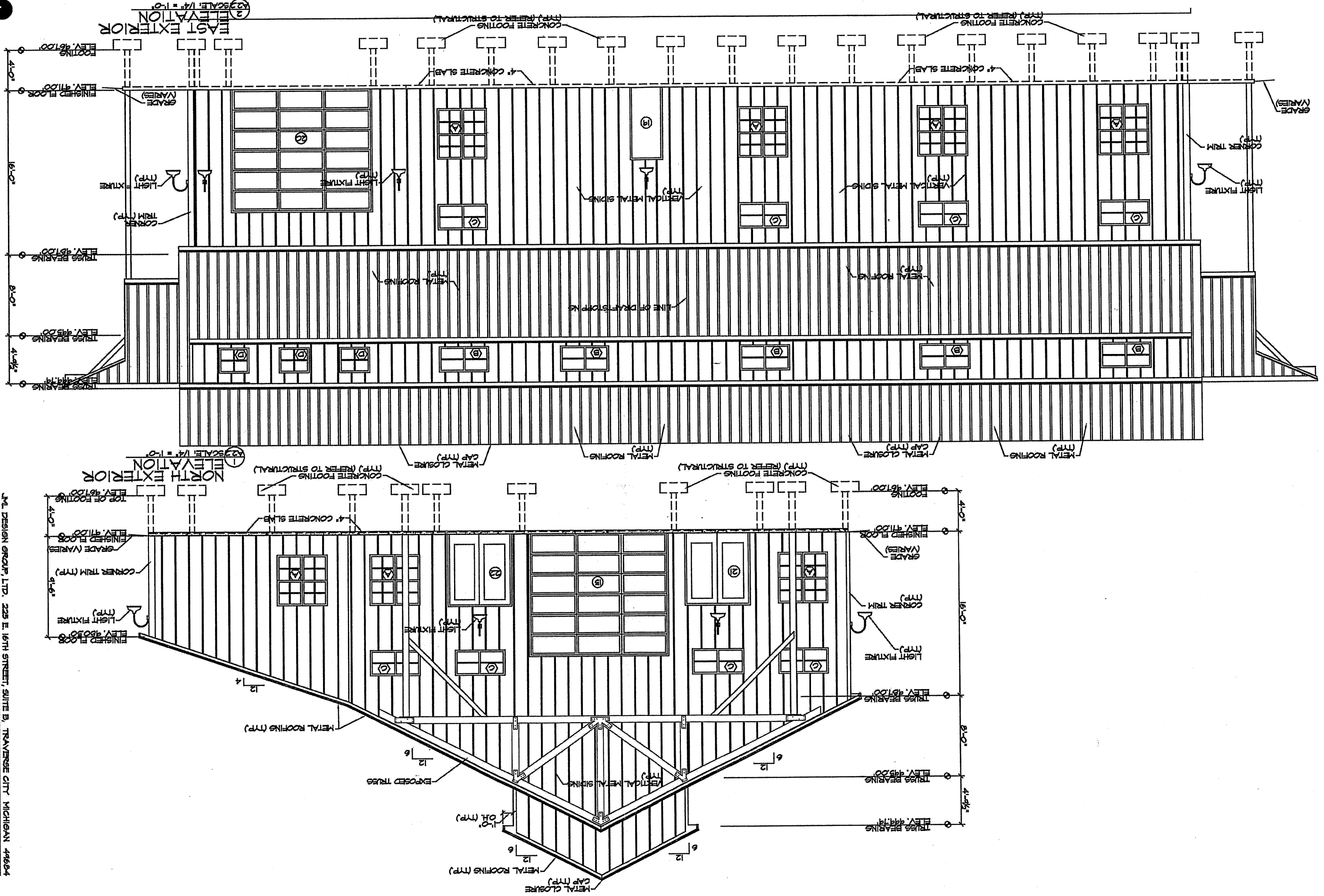
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**EXTERIOR ELEVATIONS
 GALLAGHER DISTILLERY**

Project Location:
 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

Title:
 06/16/23 ISSUED FOR PLANNING
 01/08/23 REVISED

Designer:
 AS NOTED
 CFC/EB/MD

Date:
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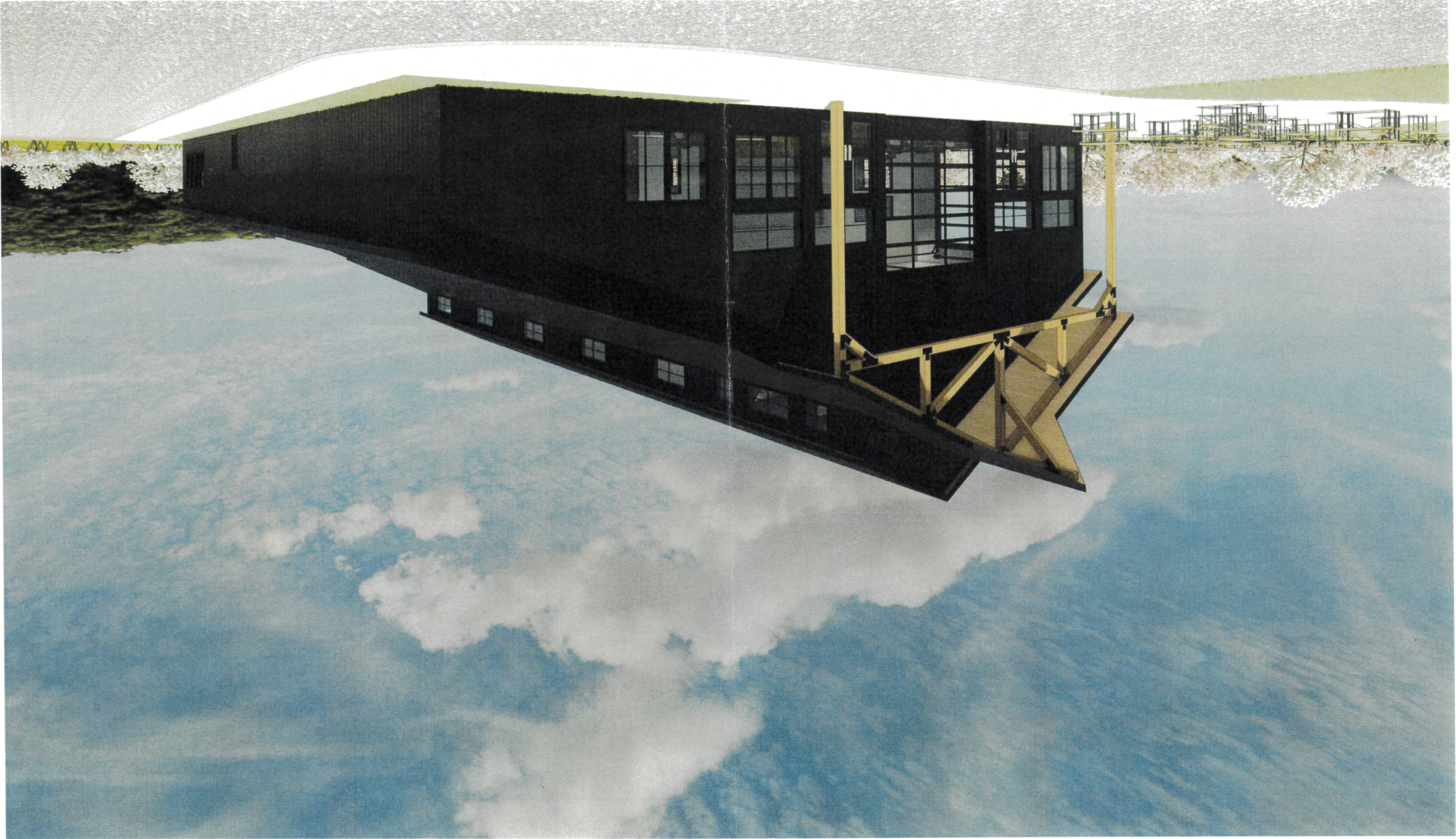


J.M. DESIGN GROUP LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684



GALLAGHER DISTILLERY
Northeast Perspective

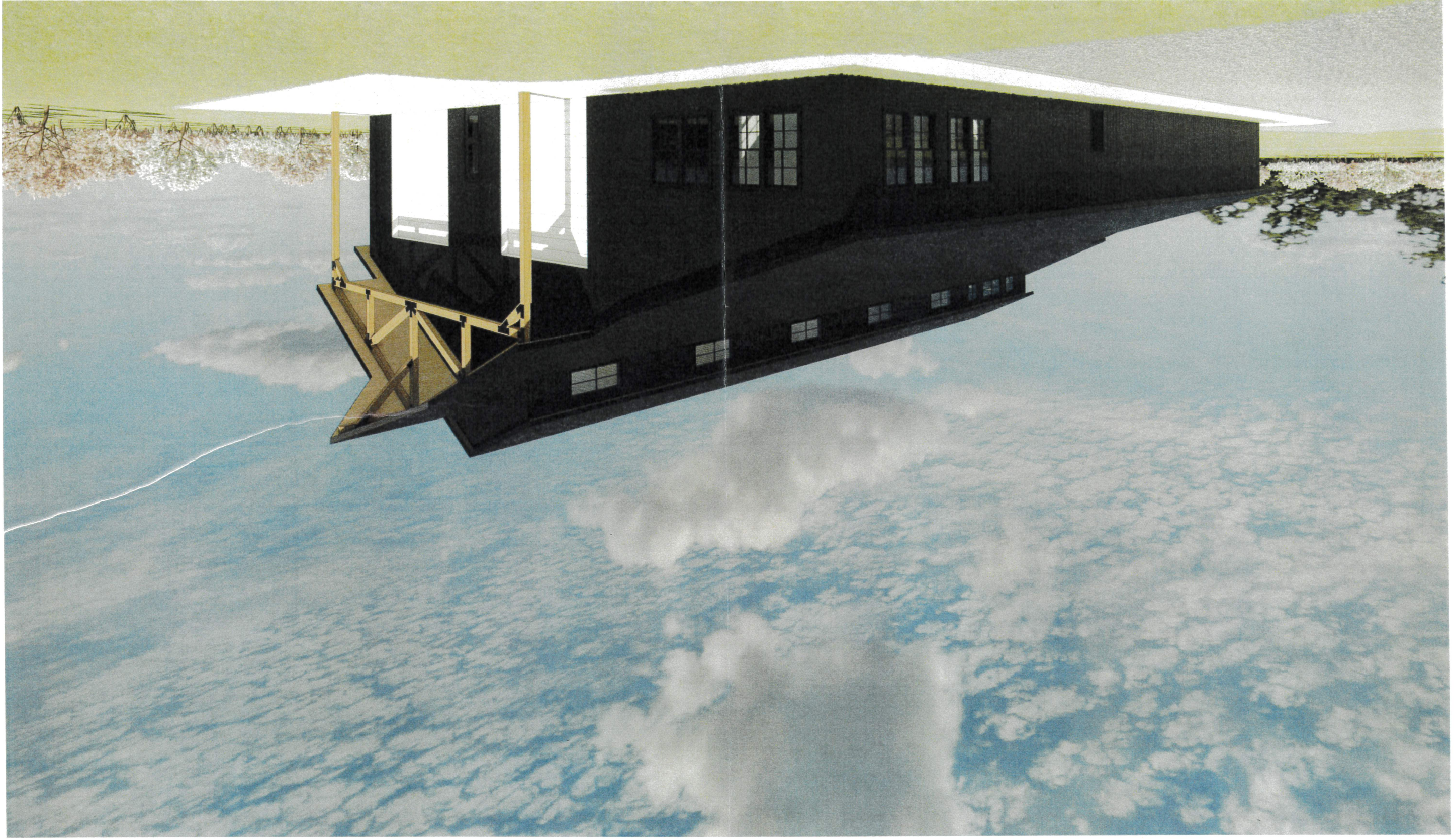
GALLAGHER DISTILLERY





GALLAGHER DISTILLERY
Southeast Elevation

GALLAGHER DISTILLERY



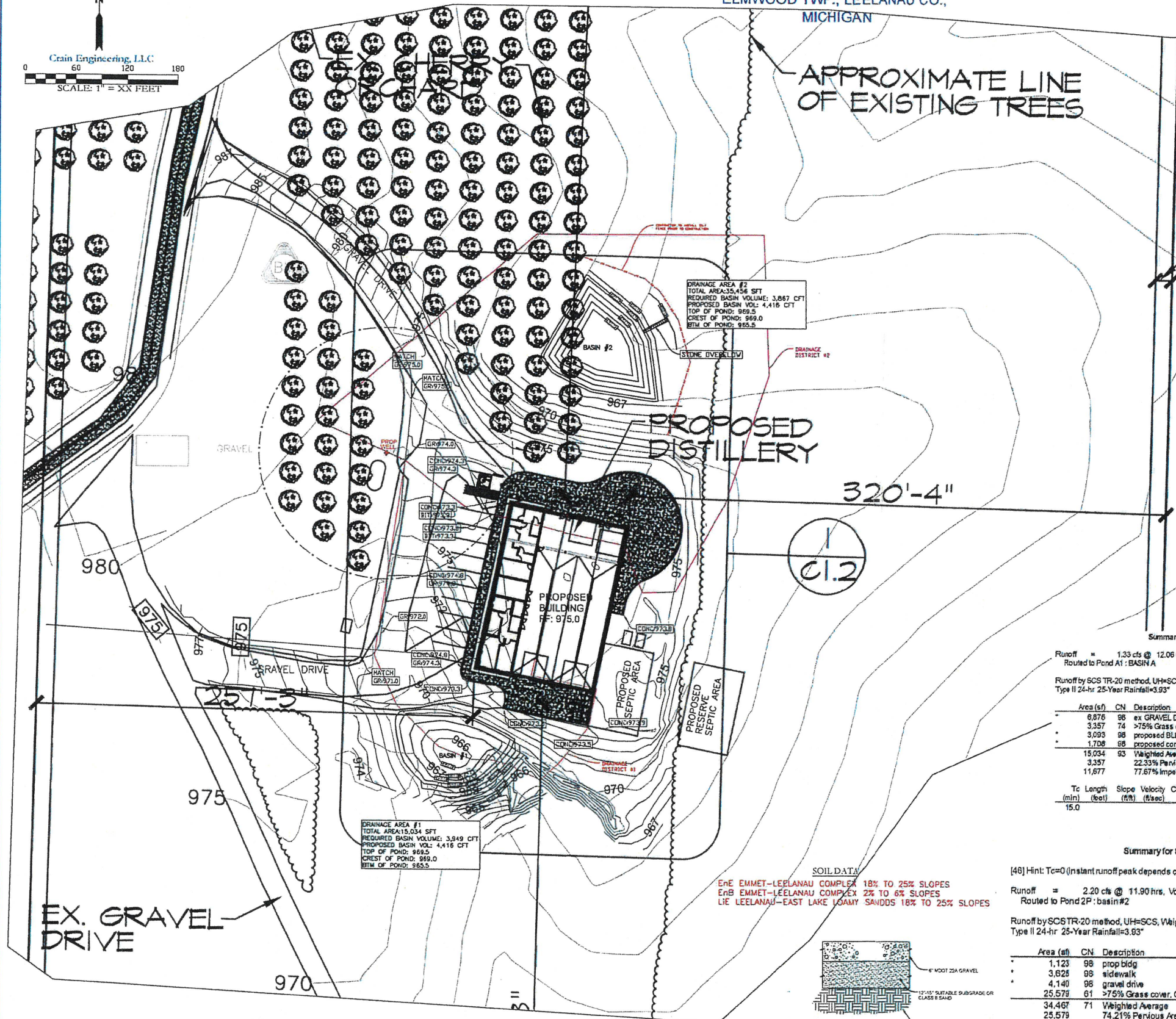
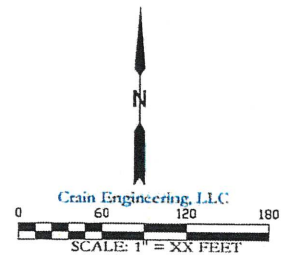


GALLAGHER DISTILLERY
Distillery Space

DRAINAGE PLAN
N½, NE¼, SEC. 30, T28N, R11W,
ELMWOOD TWP., LEELANAU CO.,
MICHIGAN

DRAINAGE AND GRADING NOTES

1. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
2. ALL DISTURBED AREAS SHALL BE TOPSOILED, SEED, FERTILIZED AND MULCHED OR SOILED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS.
3. CONTRACTOR SHALL OBTAIN SOIL EROSION PERMIT PRIOR TO ANY CONSTRUCTION.
4. ALL RETENTION BASINS SHALL HAVE 3 ON 1 SIDE SLOPES. (UNLESS NOTED OTHERWISE)
5. ALL EXISTING VEGETATION AND TREES TO REMAIN UNLESS MARKED FOR REMOVAL AS PER PLAN.
6. SELECTED TREES WITHIN TREE LINES MAY BE SALVAGED AT THE TIME OF CONSTRUCTION (LAND PREPARATION).
7. PARKING LOT GRADING IN BARRIER FREE AREAS SHALL NOT EXCEED 2% SLOPE.
8. ALL EXCESS TOPSOIL WILL REMAIN WITHIN THE PROPERTY OWNER'S SITE. IF ADDITIONAL TOPSOIL IS AVAILABLE AFTER TOPSOILING THE CONSTRUCTION AREA, IT WILL BE STOCKPILED WITHIN 1000 FEET OF THE CONSTRUCTION AREA IN A DESIGNATED AREA AS DIRECTED BY THE FIELD ENGINEER.
9. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION AND SHALL REPAIR ALL WASHBOSS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AFTER GROUND COVER IS ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
10. ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF SHALL BE ENTIRELY REMOVED FROM THE GRADING LIMITS OF ALL ROADS IN THE PROPOSED PROJECT AND DISPOSED OF AS DIRECTED BY THE OWNER.



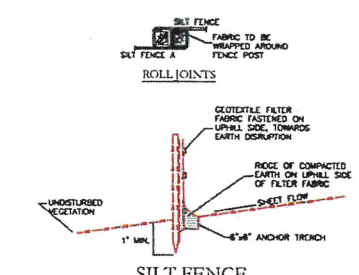
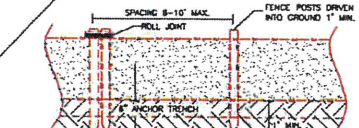
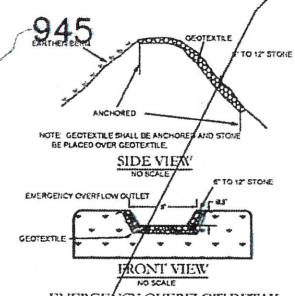
APPROXIMATE LINE OF EXISTING TREES

935
940
945
10'-0" SIDEYARD SETBACK

PROPOSED DISTILLERY

320'-4"

C1.2



Summary for Subcatchment AS: DISTRICT #1

Runoff = 1.33 cfs @ 12.06 hrs, Volume = 3,949 cf, Depth = 3.15"
Routed to Pond A1: BASIN A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span = 1.00-72.00 hrs, dt = 0.05 hrs
Type II 24-hr 25-Year Rainfall = 3.93"

Area (sf)	CN	Description
6,876	98	ex GRAVEL Drive
3,357	74	>75% Grass cover, Good, HSG C
3,093	98	proposed BLDG
1,708	98	proposed concrete sidewalk
15,034	93	Weighted Average
3,357		22.33% Pervious Area
11,677		77.67% Impervious Area

Tc	Length (min)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Summary for Pond A1: BASIN A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span = 1.00-72.00 hrs, dt = 0.05 hrs
Peak Flow = 66.77 cfs @ 24.80 hrs Storage = 3,665 cf

Elevation (ft)	Surf Area (sq ft)	Inflow (cfs)	Outflow (cfs)	Storage (cu ft)
965.00	0	0	0	0
967.00	278	239	0	278
968.00	787	1,296	0	1,009
969.00	1,280	2,018	0	2,297
970.00	2,000	2,818	0	4,115
971.00	2,375	3,078	0	6,193

Summary for Subcatchment P2: district #2

[48] Hint: Tc=0 (instant runoff peak depends on dt)

Runoff = 2.20 cfs @ 11.90 hrs, Volume = 3,867 cf, Depth = 1.35"
Routed to Pond 2P: basin #2

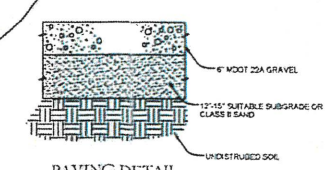
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span = 1.00-72.00 hrs, dt = 0.05 hrs
Type II 24-hr 25-Year Rainfall = 3.93"

Area (sf)	CN	Description
1,123	98	prop bldg
3,628	98	sidewalk
4,140	98	gravel drive
25,579	61	>75% Grass cover, Good, HSG B
34,467	71	Weighted Average
25,579		74.21% Pervious Area
8,888		25.79% Impervious Area

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span = 1.00-72.00 hrs, dt = 0.05 hrs
Peak Flow = 93.07 cfs @ 24.55 hrs Storage = 2,264 cf Storage = 3,867 cf

Elevation (ft)	Surf Area (sq ft)	Inflow (cfs)	Outflow (cfs)	Storage (cu ft)
960.00	0	0	0	0
965.00	818	318	0	218
968.00	1,272	1,074	1,252	1,252
969.00	1,716	1,506	2,788	2,788
970.00	2,218	2,028	4,820	4,820
971.00	2,887	2,242	7,062	7,062
972.00	3,218	1,200	8,262	8,262

SOIL DATA
E1E EMMET-LEELANAU COMPLEX 18% TO 25% SLOPES
E1E EMMET-LEELANAU COMPLEX 2% TO 6% SLOPES
L1E LEELANAU-EAST LAKE LOAMY SANDS 18% TO 25% SLOPES



EX. GRAVEL DRIVE

Crain Engineering, LLC
Engineering, Consulting, & Design
7622 Bott Road
Buckley, MI 49620
Cell: (231) 632-4207
email: crainengineeringllc@gmail.com

DRWN BY: WLC
DSGN BY: WLC
DATE: 6-28-2023
REV DATE:

DRAINAGE PLAN
GALLAGHER DISTILLERY
SECTION 30 - TOWN 28 NORTH - RANGE 11 WEST
ELMWOOD TWP., LEELANAU COUNTY, MICHIGAN

JOB NUMBER:
200423
SHEET C-1

To: Elmwood Planning Commission
From: Sarah Clarren, Planner / Zoning Administrator
Date: September 14, 2023
Re: Staff Report SPR/SUP 2023-10

The Planning Commission has received an application for Farm Club for a new Agricultural Commercial Enterprise (Farm Market) structure and an expansion of their pre-existing microbrewery (permitted in 2018 under the previous definition of Agricultural Commercial Enterprise). This staff report contains a bit more background regarding past permitting for the site as it may assist the Commission in their review of the proposed project. The Commission's packet will also include the previous narrative, Fire Department review and a sheet from the site plan to show what was approved before.

As this is only the introduction to the project, the Commission should review the relevant sections of the Zoning Ordinance and determine if it is a complete application. A special use permit requires a public hearing. **Should the Planning Commission find that the application contains the required information, a motion for a public hearing should be made as a next step to the application.** Included in this report are the standards for approval from the Special Use and Site Plan Review sections of the Zoning Ordinance. The Commission always reserves the right to request additional information at the public hearing.

If the Commission believes the application to be complete:

Motion to schedule a public hearing on the proposed expansion of Farm Club, SPR/SUP 2023-10, at the next regularly scheduled meeting.

**ELMWOOD CHARTER TOWNSHIP
PLANNING COMMISSION**

FINDINGS OF FACT, DECISION AND ORDER
SPR/SUP 2023-10, Farm Club Expansion

Owner/Applicant: Field La Femme Properties, LLC
448 E Front Street
Traverse City, MI 49684

Engineer/Surveyor: Mansfield Land Use Consultants
Surveyor: 10241 E Cherry Bend Road
Traverse City, MI 49684

Hearing Date: TBD

Case Number: SPR/SUP 2023-10, Farm Club Expansion

PROPERTY DESCRIPTION

Parcel ID # 004-018-004-25 (10051 S Lake Leelanau Dr., 8.97 acres)

The above referenced parcel is located in an Agricultural-Rural (AR) Zoning District. The parcels are located in Section 18 of Elmwood Township.

APPLICATION

Field La Femme Properties, LLC is requesting a Special Use Permit (SUP)/Site Plan Review (SPR) for an Agricultural Commercial Enterprise (Farm Market) and a Microbrewery (SPR) on a parcel containing 'Farm Club.'

Past Permitting. Understanding the past permitting that has occurred onsite is essential in reviewing this application. Field La Femme Properties, LLC came before the Planning Commission for an Agricultural Commercial Enterprise use in August 2018. At the time of permitting, the use only required Site Plan Review (no public hearing) and the definition was different than it is now.

In 2018, the definition of an Agricultural Commercial Enterprise was “Uses dependent upon **on site agricultural operation**, such as: community-supported agriculture, “u-pick” or **pick-your-own operation, farm market**, nursery, **agri-tourism**, winery, **brewery**, distillery, interpretive farm, **beekeeping/honey production**, maple syrup production, **greenhouse**, commercial hunting grounds, **agricultural processing**, riding stables, **sales of agricultural related products**, farm vacations, crafts, and similar uses” (emphasis added to highlight uses proposed in 2018 application).

The only structure that has been constructed that was permitted in 2018 is the main building. The interior plan of that building included the footprint as included in the adjacent table. The narrative submitted with the original application indicated that the outdoor patio “...will be used for additional outdoor seating, dining, and gathering space. The patio space opens up onto an open area and path that leads into the planted garden...planting beds integrated into the patio space provide an additional connection between the seating area and the farm while providing an ideal space for educational displays, demonstration gardens, and educational presentations and workshops.” Anything outside that area has not been approved for use as a tasting room/bar/restaurant. In 2018, it is worth noting that one of the four conditions placed on the project is that the brewery is accessory use to farm market and agricultural commercial enterprise.

Square footage of 2018 Permitted Commercial Structure	
Kitchen	1026 SF
Dining Room / Market Area	900 SF
Restrooms	398 SF
Corridors	615 SF
Processing / Brewing Area	1398 SF
Cooler	150 SF
Tasting room	500 SF

At the meeting immediately after Field La Femme was permitted, the Commission began discussing the use ‘Agricultural Commercial Enterprise’ and ultimately, in September 2019, the regulations surrounding the use changed. 1) the definition of Agricultural Commercial Enterprise changed to the current definition, 2) the use became a special use, and 3) the requirements of the use were modified. The current definition of the use is “Uses dependent upon on site farm operation and agriculture related products, such as: community-supported agriculture, “u-pick” or pick-your-own operation, farm market, agri-tourism, and similar uses.” This meant that certain aspects of what is known as Farm Club became a pre-existing non-conforming use; this includes the restaurant, brewery, winery (cider), and wine tasting room. *Any expansion of those uses must conform to the current Zoning Ordinance or it cannot be allowed.* It is worth noting that restaurants are not currently an allowed use within the A-R zoning district in Elmwood Township.

In 2022, an unpermitted structure (‘beverage service station’) was installed without any permits from the Township or County. As the brewery permitted in 2018 under the Agricultural Commercial Enterprise is pre-existing non-conforming, a Land Use Permit could not be issued for the after-the-fact construction of the ‘bar.’ As microbreweries are a permitted use within the A-R zoning district through Site Plan Review, the property owner is seeking approval for that use so that the permitted use (albeit under a different definition) can be expanded. It is worth noting that the 2018 approval for the brewery was conditioned to be an accessory use to farm market and agricultural commercial enterprise.

Surprisingly, ‘Microbreweries’ are not defined within the Ordinance. However, the following use is permitted under Site Plan Review within the A-R District “Microbreweries/Distilleries regulated by Michigan Liquor Control Commission.” This requires the Commission to utilize definitions set by the Michigan Liquor Control Commission. As defined by MCL, a micro brewer as “a brewer that manufactures in total less than 60,000 barrels of beer per year and that may sell the beer manufactured to consumers at the licensed brewery premises **for consumption on or off the licensed brewery premises** and to retailers as provided in section 203a. In determining the 60,000-barrel threshold, all brands and labels of a brewer, whether manufactured in this state or outside this state, must be combined and all facilities for the manufacturing of beer that are owned or controlled by the same person must be treated as a single facility” (emphasis added). If the Michigan Liquor Control Commission finds what is proposed falls under their

definition of a Microbrewery, it is a permitted use within the Zoning Ordinance. That said, the Commission the proposed project must meet all standards and requirements of Article 8 in order to be approved.

Parking. In the 2018 approval, 36 parking spaces were permitted. At that time, the Commission approved 10 additional parking spaces which exceeded what was allowed by the Ordinance (26 spaces (1 per 100 s.f. of public floor area for ACE (based on 2,600 s.f. of public floor area). In 2018, additional parking was requested "...due to the fact that it is anticipated that there will be additional demand for parking on the site during busy seasons and times of day and that there is **additional outdoor space open to the public that the Ordinance does not require parking to be provided for**" (emphasis added).

The Narrative submitted for the proposed Microbrewery (expansion) and ACE (Farm Market) states:

"Parking:

Required: Required number of parking spaces cannot be calculated, as the Ordinance does not specify a minimum number of spaces required for outdoor seating areas, which are a prominent element of Farm Club. The following numbers represent the required number of spaces for the existing building and proposed market building. 30 (For Farm Club Main Building: 1 per 3 people allowed by occupancy permit (89)) 9 (For Proposed Farm Market Building: 1 per 100 S.F. retail floor area (860 s.f.))

Proposed: 94 Spaces."

Again, as certain elements are pre-existing nonconforming, they cannot expand. This also means that parking for the nonconforming elements cannot expand. It will be impossible and impractical to enforce separate parking areas for separate uses. That said, the Commission should look at the number of spaces as proposed and determine if are able to grant approval for exceeding the required parking areas in accordance with the Ordinance (Section 6.1.2.H). Given past approvals for parking, the application is requesting 58 parking spaces for the new 'Farm Market' 9 of the 58 requested spaces) building and the expanded 'microbrewery' (49 of the requested spaces).

Section 6.1.3 of the Zoning Ordinance contains a schedule of the parking requirements for individual uses and activities within the township. Microbreweries are not included in the parking schedule. However, for uses not specifically mentioned, section 6.1.2.B.C.E allows the Zoning Administrator to determine the off-street parking space requirement using the use that is most similar in use and intensity. The Commission must be consistent, but there has yet to be another case where a microbrewery has been proposed. That said, distilleries' parking calculations utilized 5 spaces plus 1 per employee on largest shift.

The Ordinance indicates that parking cannot exceed 125% of the parking required under the Ordinance, unless authorized by the Planning Commission. Per Section 6.1.2.H, the Ordinance states "In granting any additional spaces beyond the required amount, the Planning Commission shall determine that the parking is necessary based on documented evidence of actual use or anticipated demand as provided by the applicant. The Planning Commission shall also consider impacts on the property and surrounding properties, including any natural features thereon." **Therefore, when making a decision to approve, approve with conditions, or deny the project, the Commission will need to make a finding on if they grant approval for exceeding the maximum parking.**

SECTION 9.8 ADDITIONAL REQUIREMENTS FOR CERTAIN SPECIAL LAND USES

Several land uses require additional requirements that must be met in addition to the Standards, Requirements, and Findings in Section 9.3. These additional standards are listed below.

M. Agricultural Commercial Enterprises (Amendment ZO 2017-04-05, Ordinance #2019-02, Effective September 4, 2019)

The purpose is to promote agricultural commerce, to conserve valuable farmland, and to protect public safety.

1. The use must be associated with a farm operation, operated according to the Generally Accepted Agricultural and Management Practices for Farm Markets (GAAMPS) for the State of Michigan and any additional GAAMPS that may apply for the proposed use. ***Existing farm operations shown Sheet C3.0. Also, typically conditioned during approval process.***

2. Accessory Uses. The following are allowed as accessory uses to agricultural commercial enterprises:
 - a. Petting zoos, animal attractions, and playgrounds.
 - b. Children's games and activities.
 - c. Crop mazes and pumpkin patches.
 - d. Holiday-oriented activities.
 - e. Sales shall be limited to farm products in compliance with GAAMPS for Farm Markets, such as fruit, vegetables, or baked goods; plant and nursery stock; or farm-related products such as milk, cheeses, honey, preserves, or butter. A bakery may exist as part of a farm market.

Typically conditioned during approval process.

3. Sales of the following are prohibited unless otherwise authorized by the Ordinance:
 - a. Fuel or related products.
 - b. Tobacco products.
 - c. Lottery tickets.
 - d. Vehicles or related products.
 - e. New & Used household goods.
 - f. Alcohol production and sales.

Typically conditioned during approval process.

4. Shall be located on a minimum parcel size of one (1) acre and shall be owned or leased by the farmer. ***Met; parcel is 8.97 acres.***
5. The minimum setback from any lot line for any structure shall be fifty (50) feet. Vegetative planting or agricultural use of land is encouraged between the structure and any property line. ***Met; approx. 160.' / Sheet L1.0 shows vegetated buffer.***
6. Parking shall be setback a minimum of fifty (50) feet from any side or rear lot line and a minimum of ten (10) feet from the road right-of-way line. ***Met; Sheet L1.0 shows parking 65' from lot line.***
7. Landscaping shall comply with Section 6.4 including buffering requirements. ***Met; Sheet L1.0 shows vegetated buffer.***
8. Lighting. Greenhouse and other grow lights internal to agricultural enterprises are exempt from the lighting requirements of this Section. For all other lighting requirements, see Section 6.5, Lighting. *N/A*

SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL

The following information shall be provided with the site plan as indicated, unless waived by the Zoning Administrator when such information is not applicable. The site plan must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less. Required site plan elements shall include:

1. Applicant's name, address, and telephone number. ***Provided (application).***
2. Property owner's name, address, telephone number, and signature. ***Provided (application).***
3. Proof of property ownership, and whether there are any options or liens on the property. ***Provided***
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent. ***N/A; applicant is owner***
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage. ***Provided (narrative).***

6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers. ***Not yet provided, typically conditioned.***
7. Project title or name of the proposed development. ***Provided (narrative) 'Farm Club Expansion'***
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing. ***Provided (Narrative; email "The proposed project (except for the future green houses shown) will be completed in one phase. It is intended that this one phase begin in the fall of 2023 and be completed in spring or summer of 2024.")***
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site. ***Provided (Narrative p. 11-12)***
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance. ***Provided (Narrative (20-30 employees) / Email: "The total floor area and usable floor area of the proposed market building are 1,564 S.F.")***
11. A vicinity map showing the area and road network surrounding the property. ***Provided (Sheet C1.0)***
12. The gross and net acreage of the parcel. ***Provided (Sheet C2.0)***
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels. ***Provided (Application / Sheet C2.0).***
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations. ***Provided (various sheets / narrative).***
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%. ***Provided (Various sheets, including C2.0).***
16. The location and type of existing soils on the site, and any certifications of borings. ***Provided (C2.0).***
17. Location and type of significant existing vegetation. ***Location provided (L1.0, C4.1). Type not provided other than stating 'existing wooded area to remain' Commission typically has not required every tree identified.***
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes. ***Provided (C3.0, C4.0 (wetlands approximate and don't show full extent, but does not appear to be on subject parcel (EGLE Wetlands Map View)).***
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope. ***Provided (Various sheets).***
20. Proposed location of all proposed structures, buildings, equipment, and uses. ***Provided (Various sheets).***
21. Elevation drawings of typical proposed structures and accessory structures. ***Provided (Sheet 1 of 1).***
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets. ***Provided (various sheets)***
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property. ***None proposed.***

24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof. ***Location shown on various sheets.***
25. Location, size, and characteristics of all loading and unloading areas. ***Provided (C4.1)***
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use. ***Provided (C4.1)***
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable). ***Provided (C4.1, C5.0)***
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam. ***Provided (C4.1).***
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable. ***N/A***
30. Location, size, and specifications of all signs and advertising features, including cross-sections. ***Narrative indicates no signage other than what is onsite currently is proposed.***
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used. ***Partially provided (Site Lighting Exhibit)***
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown. ***Location of vegetated buffer shown (L1.0), dumpster screening and planting detail (C1.1)***
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate. ***Location of vegetated buffer shown (L1.0) Location provided (L1.0, C4.1). Type not provided other than stating 'existing wooded area to remain' Commission typically has not required every tree identified.***
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities. ***Provided (C1.1 (screening) and C3.0 (location))***
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities. ***Narrative indicates there is no proposed storage of hazardous materials of chemicals.***
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved. ***N/A; undelineated wetlands do not appear on subject parcel (EGLE Wetlands Map Viewer)***
37. North arrow, scale, and date of original submittal and last revision. ***Provided, various sheets.***

SECTION 8.5 REVIEW AND APPROVAL

A. Standards for Site Plan Approval. The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article.

2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval. Further, all applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met or can be made a condition of site plan approval.
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.
4. Compliance with all non- zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.
5. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.
6. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.
7. All buildings and structures are accessible to emergency vehicles.
8. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.
9. The percentage of impervious surface has been limited on the site to the extent practicable.
10. Efforts have been made to protect the natural environment to the greatest extent possible.
11. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.
12. The proposal furthers the goals and objectives of the Master Plan.

SECTION 9.2 GENERAL PROVISIONS

- A. **Authority to Consider Special Land Use Applications.** The Planning Commission as hereinafter provided shall have the authority to approve, deny, or approve with conditions (if appropriate) special land uses.
- B. **Application.** Application for any special land use permit permissible under the provision of this Ordinance shall be made to the Planning Commission through the Zoning Administrator by filing an official special use permit application and submitting a site plan in accordance with Article 8. In addition to information or documents required by Article 8, the applicant shall provide the following information:
 1. Location of all proposed special land uses and activities to be conducted on the parcel(s); *Provided, various sheets*
 2. Height and footprint of all structures and improvements; *Provided, various sheets*
 3. Adjacent land uses and their corresponding zoning districts; *Provided (application)*
 4. Need for the proposed special land use in the specific area of the Township. *Provided (Narrative)*
 5. Compatibility with the listed permitted uses in the zoning district where the proposed special land use is requested to be located; *Provided (Narrative)*

6. Such additional information or documents that will assist the Planning Commission in determining whether the proposed special land use meets the General Standards and Specific Requirements as provided in Section 9.3.

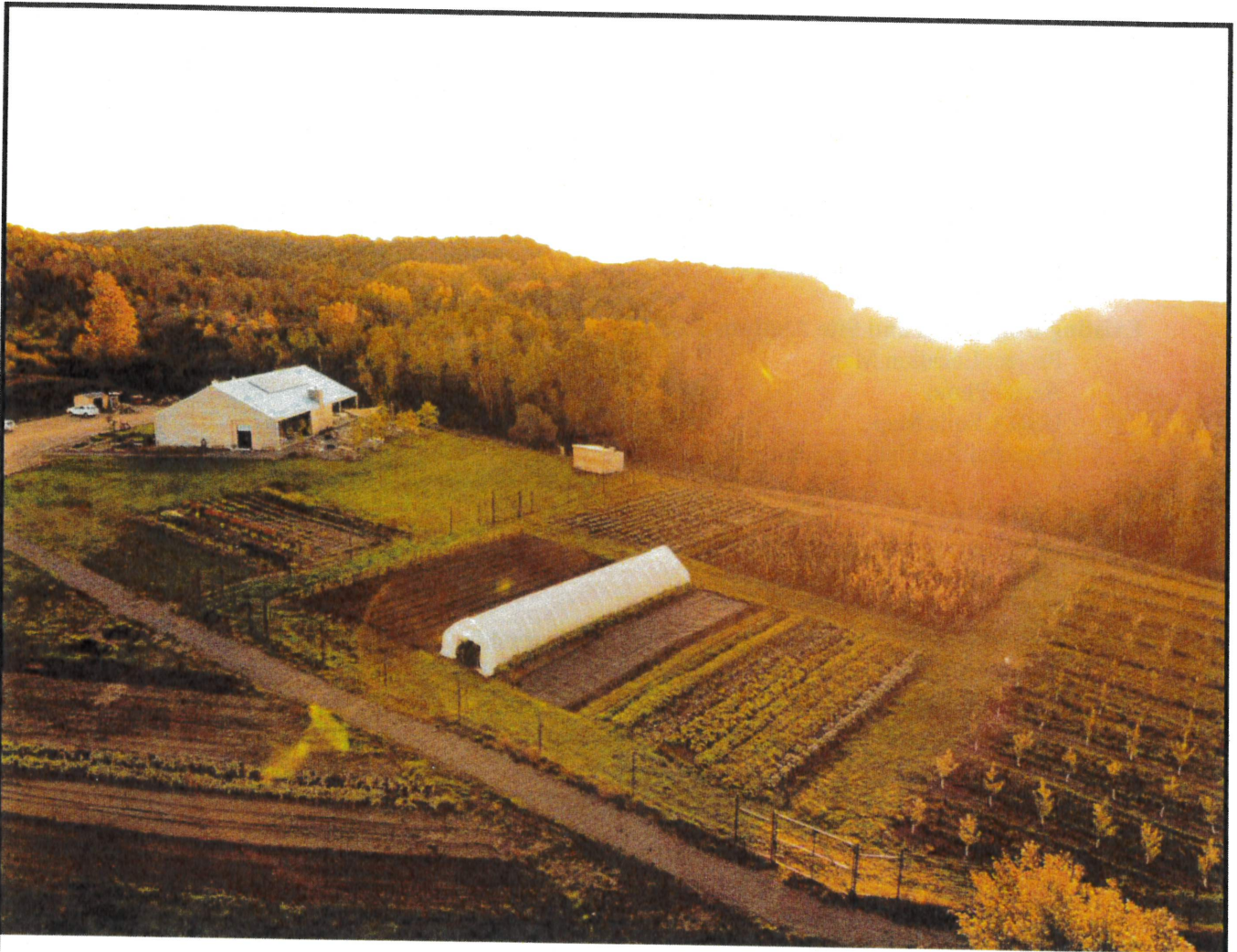
SECTION 9.3 STANDARDS, REQUIREMENTS AND FINDINGS

The Planning Commission shall review the particular circumstances of the special land use permit application in accordance with the requirements of this Article and Article 8. Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all of the General Standards and Specific Requirements listed below:

A. General Standards.

1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located.
2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district.
3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located.
4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers.
5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses.
6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources.
7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services.
8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements.
9. The following specific requirements shall be met to the extent applicable to the proposed special land use:
 - a. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:
 - i. Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts;
 - ii. Proximity and relation of driveway to intersections;
 - iii. Minimization of pedestrian and vehicular traffic conflicts;
 - iv. Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management.

- v. Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks;
 - vi. Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels.
 - vii. Adequate maneuverability and circulation for emergency vehicles.
- b. Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site.



Farm Club

**Proposed Expansion as Microbrewery and
Agricultural Commercial Enterprise Uses**

Submitted to

Elmwood Township

May 25, 2023
8/16/23 UPDATE
DRAFT

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Project Team

Property Owner:

Field La Femme Properties, LLC
448 E. Front St.
Traverse City, MI 49686

Gary and Allison Jonas
10103 S. Lake Leelanau Dr.
Traverse City, MI 49684

Applicant:

Field La Femme Properties, LLC
448 E. Front St.
Traverse City, MI 49686
Phone: 646-263-2732
Email: gary@farmclubtc.com

Farming Partners:

Nic and Sara Theisen
Loma Farm
PO Box 405
Traverse City, Michigan 49685
Phone: 970-217-5904
lomafarm@gmail.com

Planning and Engineering Consultant:

Mansfield Land Use Consultants
830 Cottageview Drive, Suite 201
PO Box 4015
Traverse City, MI 49685
Phone: (231) 946-9310
Email: dusty@maaeps.com

May 25, 2023

Elmwood Township Planning Commission
10090 E. Lincoln Road
Traverse City, MI 49684

Dear Planning Commissioners,

On behalf of property owners Field La Femme Properties, LLC and Gary & Allison Jonas, Mansfield Land Use Consultants is pleased to present the following information related to the Special Use Permit Application for the proposed additions to the existing Farm Club Agricultural Commercial Enterprise (ACE) located on the property at 10051 S. Lake Leelanau Drive.

The project property is located in the central portion of Elmwood Township on County Road 641 (Lake Leelanau Drive), at the northeast corner of the Leelanau Trail's southern crossing of C.R. 641, and is roughly 40 acres in size. The property owners are seeking Site Plan Approval and a Special Use Permit for the construction of an additional, detached farm market building and satellite beverage service structure on the site of the existing Farm Club agricultural commercial enterprise, which was approved by the Township in 2018. As the standards of the Ordinance have changed since the original approval of the project, there is no method available to simply amend the existing approved site plan. Therefore the proposed changes to the site are submitted for your review as a Microbrewery use (permitted use – outdoor beverage service station and associated lawn seating) and a new Agricultural Commercial Enterprise (special use – new farm market building with bakery). The existing, legal non-conforming ACE use will be maintained on the property, effectively making Farm Club a mixed-use project.

The information provided on the following pages provides details related to the existing conditions of the property, the uses proposed, and how the proposed uses comply with the standards and regulations of the Ordinance. Thank you for your time and consideration of this material and the Application.

Sincerely,

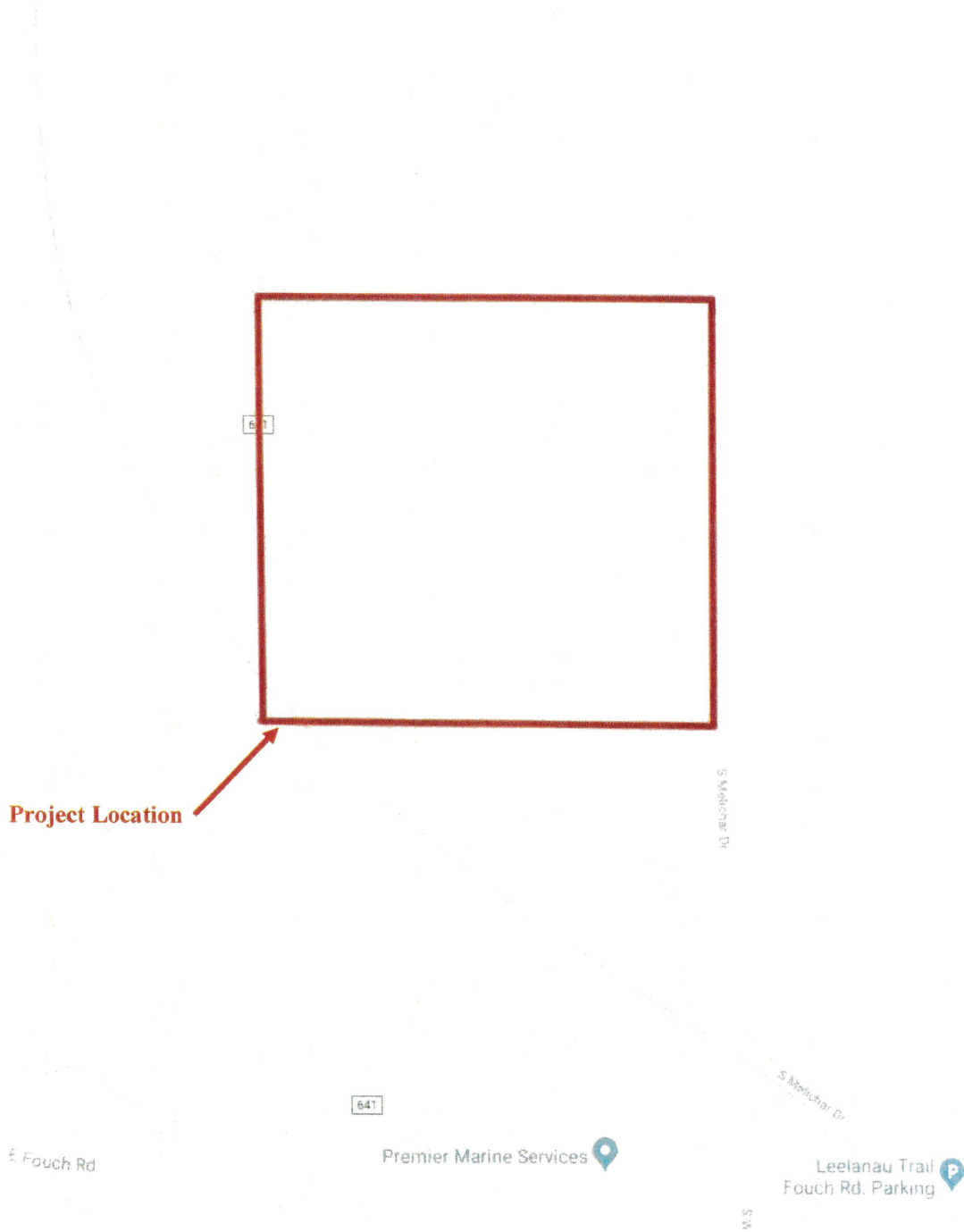


Dusty Christensen, LLA
Mansfield Land Use Consultants

Project Location

The subject property is located in the central portion of Elmwood Township on the east side of County Road 641 (Lake Leelanau Drive). The following maps illustrate the location of the project site.





Aerial Photo

The most current available aerial photo shows the project site in its current condition, minus the house under construction, and adjacent properties.



USDA Soils Map

The site primarily consists of sandy soils, as shown on the USDA Soils Map below.



Soils Map Legend

LEELANAU COUNTY SOILS MAP LEGEND (M1089)	
Map Unit Symbol	Map Unit Name
Arb	Alcona-Richter sandy loams, 2 to 6% slopes
AuA	Au Gres-Kalkaska sands, 1 to 4% slopes
EnB	Emmet-Leelanau complex, 2 to 6% slopes
EnC	Emmet-Leelanau complex, 6 to 12 % slopes
EnD	Emmet-Leelanau complex, 12 to 18 % slopes
EnE	Emmet-Leelanau complex, 18 to 25 % slopes
EnF	Emmet-Leelanau complex, 25 to 50 % slopes
KaB	Kaleva sand, 0 to 6% slopes
KaC	Kaleva sand, 6 to 12% slopes
KaD	Kaleva sand, 12 to 18% slopes
KaE	Kaleva sand, 18 to 35% slopes
Lm	Lupton-Markey mucks
NsF	Nester silt loam, 25 to 50% slopes

Proposal Regulations Summary

Property Data:

Address: 10051 S. Lake Leelanau Drive
Property I.D. Number: 45-004-018-004-25
Owner: Field La Femme Properties, LLC
448 E. Front St.
Traverse City, MI 49686

Property Data:

Address: 10103 S. Lake Leelanau Drive
Property I.D. Number: 45-004-018-004-15
Owner: Gary and Allison Jonas
10103 S. Lake Leelanau Dr.
Traverse City, MI 49684

Underlying Zoning:

Agricultural-Rural – A-R

Site Acreage Computation:

Parcel 45-004-018-004-25: 8.97 Acres
Parcel 45-004-018-004-15: 31.95 Acres
Total Gross Acreage: 40.92 Acres
Total Net Acreage (less road and trail ROW's) 39.42 Acres

Legal Descriptions:

Parcel 45-004-018-004-25:

PT NE 1/4 OF NW 1/4 SEC 18 COM N 1/4 COR SD SEC TH N 90 DEG 00'00" W 631.45 FT TO POB
TH S 20 DEG 17'20" W 341 FT TH S 41 DEG 19'41" W 843.73 FT TH N 02 DEG 09'58" W 954.12 FT
TH N 90 DEG 00'00" E 711.49 FT TO POB SEC 18 T28N R11W 8.97 A M/L 2022 SPLIT FROM 004
018-004-10

Parcel 45-004-018-004-15:

PT NE 1/4 OF NW 1/4 SEC 18 BEG N 1/4 COR SD SEC TH S 02 DEG 11'02" E 1323.37 FT TH S 89
DEG 35'40" W 1343.02 FT TH N 02 DEG 09'58" W 378.75 FT TH N 41 DEG 19'41" E 843.73 FT TH N
20 DEG 17'20" E 341 FT TH N 90 DEG 00'00" E 631.45 FT TO POB SEC 18 T28N R11W 31.95 A M/L
2022 COMB/SPLIT FROM 004-018-004-018-004-10 & 004-018-004-20

Existing Land Use:

Agricultural Commercial Enterprise (approved 2018), Single-family Residence

The 2018 approval of the existing Agricultural Commercial Enterprise use included the production and serving of food, beer, and cider incorporating ingredients grown on site and by the affiliated farm in addition to the agricultural use of the garden and crop areas shown on the site plans.

Proposed Land Uses (In Addition to Existing Approved Use):

- Microbrewery, a permitted use in the A-R District.
- Agricultural Commercial Enterprise (Farm Market), a special use in the A-R Zoning District.

It is proposed that the Farm Club site be viewed and approved as a mixed-use site in order to allow for the continuation of the existing, approved Agricultural Commercial Enterprise use, while allowing for the expansion of existing on-site activities and structures and providing increased conformity with the current standards of the Township Zoning Ordinance. As the Ordinance has been amended following the original approval of Farm Club site plans, there is no longer an applicable defined land use within the Ordinance that allows for the expansion of the existing facility without adding approvals for new uses on the site.

The proposed additions to the Farm Club property are a new, separate farm market and bakery building, expanded parking lot, and satellite beverage service station. The popularity of Farm Club since its opening has been increasing, resulting in the existing facility becoming crowded. In an effort to provide more space within the main Farm Club building for visitors and employees, the new market building will allow for market uses to be relocated from the main building. The current market space in the existing building will be utilized for additional indoor seating. Additional on-site parking will reduce overflow parking on lawn areas and, ideally, on the adjacent County road. The proposed satellite beverage service station and associated lawn seating will reduce visitor traffic within the main building while guests are waiting for seating to become available, making more space for employees and visitors alike.

The proposed additions to the existing Agricultural Commercial Enterprise are intended to enhance the existing immersive agricultural experience for Farm Club visitors and provide them with a better understanding and appreciation of farming, food production, and processing. The proposed site additions and existing facilities provide opportunities for patrons to observe and interact with the surrounding farm, provide educational opportunities and the ability to host demonstrations and talks, and serve food, beer, and cider made from ingredients grown on the site. Farm Club is a fully functioning small-scale farm that not only grows food for sale on site and use in the kitchen, but serves as an example for visitors to see how similar farms in the region operate on a day-to-day basis. Loma Farm, a nearby Elmwood Township farm, is a project partner and providing support for Farm Club in the form of knowledge and experience applied to the planning, planting, and ongoing care of the future farm.

Schedule of Regulations:	Per Zoning	Proposed/Existing
Minimum Lot Size	1 Acre	40.92 Acres Total
Minimum Lot Width	125'	1,332'
Front Yard Setback	50'	50'
Side Yard Setback	10'	10'
Rear Yard Setback	25'	25'
Water's Edge Setback	30'	N/A
Max. Building Height	35'	35'
Impervious Surface Coverage	None	3.67% on 45-004-018-004-25 1.75% on 45-004-018-004-15

Parking:

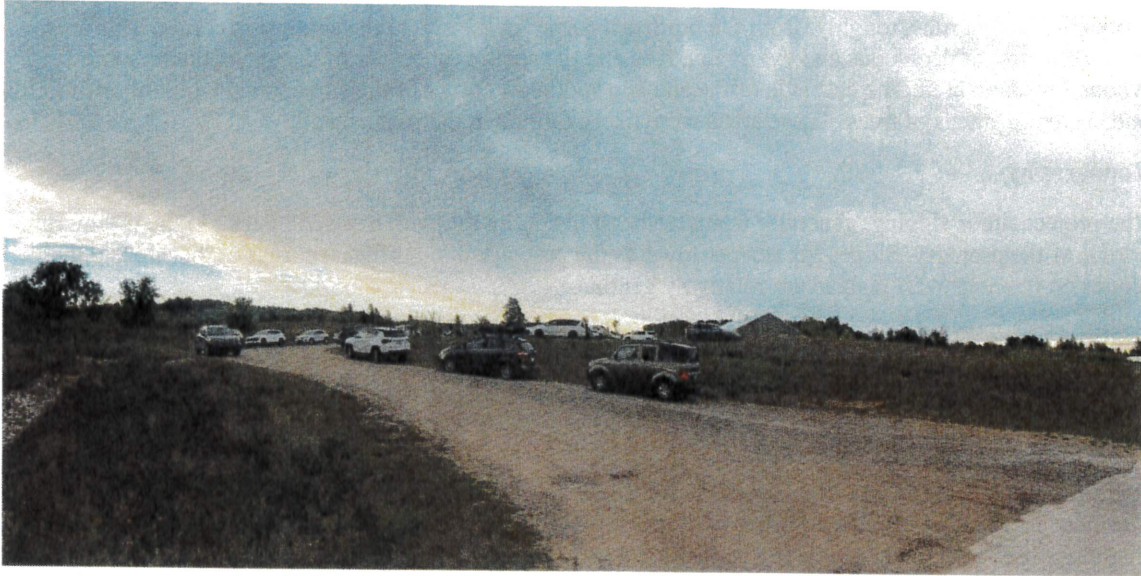
Required: Required number of parking spaces cannot be calculated, as the Ordinance does not specify a minimum number of spaces required for outdoor seating areas, which are a prominent element of Farm Club. The following numbers represent the required number of spaces for the existing building and proposed market building.
30 (For Farm Club Main Building: 1 per 3 people allowed by occupancy permit (89))
9 (For Proposed Farm Market Building: 1 per 100 S.F. retail floor area (860 s.f.))

Proposed: 94 Spaces

94 total parking spaces, including existing parking spaces, are proposed. It is proposed that the existing gravel parking lot be expanded to provide additional parking near the existing Farm Club building and that an additional 16 space gravel lot be constructed near the proposed farm market building. As the Ordinance does not provide sufficient instruction to calculate minimum required parking for the proposed project, the applicant is requesting that the Planning Commission approve the proposed 94-space parking area improvements shown on proposed plans.

The additional parking proposed on the site will help define allowed parking areas and alleviate parking shortages experienced at Farm Club. At times, visitors have parked illegally on the County Road, as on-site parking space was full to capacity. In order to allow for safe and effective site access for the Fire Department and other emergency services, the enlarged parking area is necessary in order to keep drive lanes clear and passable. During its busiest shifts, Farm Club has between 20 and 30 kitchen, service, and farm employees on site at the same time. These employee parking needs have also been included in plans as part of the proposed parking increases.

During the busy season (summer and fall), the existing farm club parking lot is frequently filled, which results in guests parking outside of defined parking areas adjacent to the parking lots, down the sides of the driveway, and even out onto the County Road at times. In order to comply with Ordinance parking standards and to maintain driveways and drive lanes that are clear and accessible to emergency vehicles, it is requested that the Planning Commission approve the proposed parking lot expansion shown on the plans. The following photo, taken on a recent (8/2/23) Wednesday evening at about 8:30 p.m., shows numerous vehicles parked along the Farm Club driveway and outside of the defined parking lot. This is a common occurrence during the busy season, exhibited by the provided photo taken on a relatively slow, mid-week evening at a time past the primary evening rush for the business.



Project Narrative

Existing Conditions and Exhibits

The following descriptions illustrate the existing conditions on the subject site. The entire west property line is bordered by S. Lake Leelanau Drive (C.R. 641) as shown on the attached plan set, and the Leelanau trail crosses the southwest corner of the property. Additional site data and information related to the standards and regulations of the Elmwood Township Zoning Ordinance (Ordinance) can be found in later portions of this submission.

Structures and Vehicular Circulation

Existing structures on the subject site include the roughly 5,000 square foot primary Farm Club building and the owner's home. The primary Farm Club building was permitted as part of a 2018 Agricultural Commercial Enterprise Site Plan Approval from the Township Planning Commission and is located in the northwest portion of the site. Additional site improvements from the 2018 approval include the existing gravel driveway, gravel parking lot, storm water basins, and outdoor patio. The property owners' home is located on the east side of the subject site and is served by a separate existing driveway and its own private well and septic system.

Uses

As previously mentioned, the site is currently used for an approved Agricultural Commercial Enterprise that incorporates site-grown produce into food, beer, and cider available to customers. The primary Farm Club building houses the production kitchen, brewery, cidery and customer seating, as well as an indoor market area for the sale of produce. A single residential home is also located on the site.

Vegetation

There are a variety of vegetation characteristics across the property ranging from open fields to fully wooded areas. The northwest corner of the site is a plateau that has historically been farmed and is now the site of the approved Agricultural Commercial Enterprise structure and garden areas. There is a

wooded area that runs, roughly, from the northeast corner of the site to the southwest corner. This area contains a mix of deciduous and evergreen trees and the southwest corner of the site contains some wooded wetland area. The east side of the site and southeast corner of the site contain a mix of open fields and scattered stands of trees. These areas were likely farmed in the past as well.

Topography

The project site is sloping, generally from northeast to southwest, with a raised plateau in the northwest corner of the property. Slopes get steeper towards the east side and northeast corner of the site and the slopes on the northwest plateau are relatively gentle.

Water Courses/Bodies

There are no water courses or water bodies present on or adjacent to the subject site.

Proposed Use and Impacts

As required by Section 8.4 – Requirements for Site Plan Approval of the Elmwood Township Zoning Ordinance, the following is a description of the proposed use for the subject site and the potential impacts that those uses may have on existing infrastructure within the Township. Additional project data can be found later in this submission.

Proposed Uses

This proposal accounts for maintaining the existing, approved Agricultural Commercial Enterprise use on the site. The proposed additions to the Farm Club property are a new farm market and bakery building, expanded parking lot, and satellite beverage service station. Due to Ordinance amendments made since Farm Club's initial approval, these additions to the site are being proposed as additional Microbrewery (outdoor beverage service station and associated lawn seating) and Agricultural Commercial Enterprise (new farm market with bakery) uses in order to bring the site into better compliance with the standards of the Ordinance while allowing for the expansion of the existing on-site activities and structures.

Since its opening, the popularity of Farm Club has grown, resulting in the existing facility becoming crowded. In an effort to provide more space within the main Farm Club building for visitors and employees, the new market building will allow for market uses to be relocated from the main building. Additional on-site parking will reduce overflow parking on lawn areas and, ideally, on the adjacent County road. The proposed satellite beverage service station will reduce visitor traffic within the main building, making more space for employees and visitors alike.

The proposed additions to the existing Agricultural Commercial Enterprise are intended to enhance the existing immersive agricultural experience for Farm Club visitors and provide them with a better understanding and appreciation of farming, food production, and processing. The proposed site additions and existing facilities provide opportunities for patrons to observe and interact with the surrounding farm, provide educational opportunities and the ability to host demonstrations and talks, and serve food, beer, and cider made from ingredients grown on the site. Farm Club is a fully functioning small-scale farm that not only grows food for sale on site and use in the kitchen, but serves as an example for visitors to see how similar farms in the region operate on a day-to-day basis. Loma Farm, a nearby Elmwood Township farm, is a project partner and provides support for Farm Club in the form of knowledge and experience applied to the planning, planting, and ongoing care of the future farm.

Farm Club offers visitors a unique, Leelanau County, small farm experience. The Farm Club project has planted large portions of the subject site with a wide variety of crops and adjunct ingredients to be used in the production of food products to be sold, in meals prepared in the on-site kitchen, and for the brewing of

beer and cider. Originally approved plans for the site included additional crop plantings across the site and, as the business grows, these plantings are being, and will continue to be, phased in. The property owners have partnered with Loma Farm, a small-scale Elmwood Township vegetable and flower farm located just down the street on Birch Point Road. Loma Farm's partnership in the Farm Club project lends years of expertise and knowledge to the initial farm planning through to the planting, care of, harvesting, and processing of the crops.

As previously discussed, the proposed additions to the Farm Club site are intended to provide additional space for both visitors and employees at the bustling facility. The proposed 1,836 square foot farm market and bakery building will allow for expanded food offerings that incorporate Farm Club grown produce as well as additional seating space within the main building by relocating the market space/traffic to a separate location. A small, separate parking area provides direct access to the market and allows visitors arriving to shop for produce the ability to get in, shop, and get out without entering the main parking area or building. The proposed satellite beverage service station allows a second point of sale for the existing tasting room that reduces that amount of traffic in the main Farm Club building, allowing other visitors and staff to more easily move throughout the main building and site and reducing congestion.

The close physical and visual proximity of the public spaces and farm areas is vital to the Farm Club concept, where the intent is for visitors to have the ability to closely observe the workings of the farm, gain a better understanding of how our food is grown, learn about food and farming, and interact with a working farm. Visitors enjoy being near the garden areas and seasonally have the ability to pick their own fruit and vegetables. Forthcoming, previously-approved phases of the project include expanding the agricultural production to other suitable portions of the site, including a cider apple orchard, and additional annual and perennial field crops in the southeast corner of the site. By utilizing crop storage methods and on-site greenhouses, Farm Club is able to utilize and sell ingredients grown on site throughout the year. Root vegetables and other crops store well and can be easily provided through an entire winter.

Access and Circulation

Existing vehicular access to the site occurs off of South Lake Leelanau Drive (C.R. 641), which is maintained by the County Road Commission in a manner that allows for safe access to the subject property and easily accommodates any potential increase in traffic. The driveway winds its way east up the hill to the parking area adjacent to the primary Farm Club building. The existing driveway approach on C.R. 641 complies with all necessary Leelanau County Road Commission standards and regulations in order to maintain safe driving conditions for patrons and drivers on the County road. An additional bicycle and pedestrian connection exists directly from the Leelanau Trail, across the property and directly to the proposed market space adjacent to the main building.

Utilities

The existing facility and proposed additions are, and will be, served by private well and septic. These utilities comply with all of the applicable standards of the Leelanau County Health Department, which has been provided with proposed plans to review and comment on. Process water and spent grains from the brewing process will not be going into the septic system, as a surface application system for these byproducts is permitted with EGLE.

Hazardous Material Storage

There is no proposed storage of hazardous materials or chemicals on the site.

Schools

The proposed use has no impact on the local school systems.

Storm Water Control

The existing storm water control system and proposed additions do, and will, comply with all standards and regulations of the Leelanau County Drain Commissioner's office. The system consists of surface drainage to storm water infiltration basins that will hold the required amount of storm water from the hard surfaces on the site and allow it to infiltrate.

Natural Environment

The proposed use will have no adverse impact on the natural environment, wetlands, or bodies of water. The existing and proposed buildings, storm water control system, utilities, and other site features will be approved and permitted by the appropriate regulatory agencies and meet the standards set by those agencies to protect the natural environment and water bodies. Great care has been taken in the design of the proposed utilities, driveway, and storm water system so that the existing natural features on the site are protected. Storm water from the hard surfaces will be collected in storm water infiltration basins. Erosion control measures that comply with the Leelanau County Conservation District's standards will be implemented to prevent sediment from reaching the on-site wetlands during construction. Containing the bulk of the development on the plateau in the northwest corner of the property allows for the site's natural features including sloping terrain, wooded areas, and wetlands to be better maintained and protected through the construction process and into the future.

Signage

An existing sign is located near the intersection of the driveway and C.R. 641. This sign was permitted according to Township standards and will remain unchanged as part of the current proposal.

Response to the Standards of Approval from the Township Ordinance

Site Plan Review Requirements (Section 8.4)

The site plans submitted address all provisions of Section 8.4 of the Ordinance and are sufficiently detailed for consideration by the Planning Commission. Statements, written narratives, and other information required by Section 8.4 are contained within the Proposal Regulations Summary, Project Narrative, and other portions of this submission. Please see the Proposed Use and Impacts portion of the Project Narrative of this submission for the statement required by Item 8.4.9.

Standards for Site Plan Approval (Section 8.5.B)

The following provides information related to each standard in Section 8.5.B of the Ordinance. Ordinance language is shown in **bold** text and responses are shown in plain text.

B. Standards for Site Plan Approval. The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article.

All required information has been provided. Please refer to the complete application submission for additional information.

2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval.

Comments related to the proposed additions to the site from relevant outside permitting agencies will be provided. It is intended that the project comply with all applicable standards of the Township, County, State, and any other regulatory agency and that all necessary permits be obtained prior to construction.

3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.

Adequate essential facilities and services exist for the proposed project. The existing development provides vehicular access on to County Road 641, which is maintained by the County Road Commission in a manner that allows for safe access to the subject property and easily accommodates any potential increase in traffic. No new vehicular access points to the site are proposed as part of this submission. Plans for the proposed changes to the site will be reviewed by the Township Fire Department to ensure that the proposed plans comply with all applicable requirements. Proposed plans have been submitted to the relevant regulatory agencies and comments from these agencies will be provided upon receipt.

4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Benzie-Leelanau District Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met.

Proposed plans have been submitted to the relevant agencies and comments from these agencies will be provided upon receipt. All proposed uses, construction, and activities on the site will comply with the standards of the relevant permitting agencies and permits will be obtained prior to construction.

5. Compliance with all non-zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.

The proposed project complies with the Ordinances and standards of the Township. The project submission provides details related to specific standards and how they are being met.

6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.

The proposed Agricultural Commercial Enterprise buildings and structures will be designed, constructed, operated and maintained so as to be harmonious and compatible with the existing and intended character of the general vicinity. The buildings will have an agricultural feel to their design, which is compatible with the surrounding rural character as well as the intent of the A-R zoning district. Please see the provided architectural plans for additional information.

7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.

The design and location of the proposed structures is harmonious with the surrounding properties and neighborhoods. The existing development and additional proposed development of the site occurs in a relatively small area in the northwest corner of the subject property. Proposed structures have been kept sufficiently distant from property lines and will be buffered from the road and adjacent properties by a proposed landscape buffer that complies with Township Ordinance standards. Existing vegetation along all other property lines will be maintained to provide a buffer between the existing uses on neighboring properties and the proposed development.

8. All buildings and structures are accessible to emergency vehicles.

The standards of the Township Fire Department for emergency vehicle access have been taken into account in the proposed design. Proposed plans have been submitted to the Township Fire Department for review and it is the intent of the applicants to fully comply with the safety standards set forth by the Fire Department.

9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.

The existing driveway intersects with County Road 641 in a location that meets the safety standards of the County Road Commission. Non-motorized traffic within the development is provided on a walking/bicycle path that connects the existing and proposed Farm Club buildings to the Leelanau Trail. Connecting pedestrian paths have been provided between buildings intended for customer access.

10. The percentage of impervious surface has been limited on the site to the extent practicable.

The percentage of impervious surface on the site has been greatly limited through the proposed design's limited footprint on the site. The proposed plans call for 1.91 total acres of impervious surfaces across the entire site, which is 4.67% of the site's total area.

11. Efforts have been made to protect the natural environment to the greatest extent possible.

The proposed use will have no adverse impact on the natural environment, wetlands, or bodies of water. The existing and proposed buildings, storm water control system, utilities, and other site features have been or will be approved and permitted by the appropriate regulatory agencies and meet the standards set by those agencies to protect the natural environment and water bodies. Great care has been taken in the design of the proposed utilities, road, and storm water system so that the existing natural features on the site are protected. Storm water will be collected in storm water infiltration basins or be stored for future irrigation. Erosion control measures that comply with the Leelanau County Conservation District's standards will be implemented to prevent sediment from reaching the on-site wetlands during construction.

12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.

The Farm Club project implements storm water control methods that meet the standards of the Leelanau County Drain Commission, the agency that regulates storm water control within the Township. Storm water from the proposed roofs of structures is retained within stone drains surrounding the buildings, and allowed to infiltrate, or within storm water retention basins. Storm water from the proposed driveway and parking area is routed to infiltration basins. Current proposed additions to the site will utilize existing

retention basins, which will be enlarged to accommodate the additional storm water. Proposed plans have been submitted to the County Drain Commissioner and comments will be provided upon receipt.

13. The proposal furthers the goals and objectives of the Master Plan.

The proposed project furthers the goals of the Township Master Plan in a number of ways by providing growth and development in a manner that respects the natural environment and the Township's rural atmosphere. Additionally, the proposed development preserves viable agricultural property within the Township, which is heavily supported throughout the Master Plan.

General Standards – Special Use Permits (Section 9.3A)

The Planning Commission shall review the particular circumstances of the special land use permit application in accordance with the requirements of this Article and Article 8. Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all of the General Standards and Specific Requirements listed below:

A. General Standards.

1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located.

The proposed special land use (Agricultural Commercial Enterprise) expands upon an existing, approved Agricultural Commercial Enterprise and meets the objectives, intent, and purposes of the Agricultural-Rural (A-R) zoning district by:

- Providing for the continuation of active agricultural uses within the district and region while providing visitors to the special use with a better understanding of the day-to-day operations of farms in northwest Michigan.
- Preserving the open and rural character of the zoning district and Township by maintaining roughly 85% of the approximately 40-acre site as farmed and natural open space.
- Preserving contiguous greenways for natural habitat by leaving the lower, wooded portions of the site undisturbed.
- Preserving sloped, wooded, and wetland areas while growing crops on other portions of the site.
- Preserving a large property within the A-R district as natural and farmed open spaces with limited development of the site when compared to other allowed uses.

Additionally, the proposed expansions to the Farm Club facility meet the objectives and intent of Article 9 of the zoning ordinance by complying with all applicable ordinance and agency standards while being planned to avoid incompatibility with surrounding uses and the character of the rural portions of the Township.

2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district.

The proposed special use (Agricultural Commercial Enterprise) is designed and intended to be built, operated, maintained, and managed to be consistent with the existing and intended character of parcels within the zoning district. The proposed uses are an expansion of the

existing Farm Club Agricultural Commercial Enterprise utilize the crops grown on site in the production of food and drink available at the existing tasting room and market, providing revenue that helps to maintain the site in active agricultural use and as a large portion of open space in the A-R district. Building and site design have been carefully considered to create a character that, despite consisting of non-traditional agricultural elements, reflects the rural and agricultural feeling of the rural portions of the Township.

3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located.

The proposed special use meets or exceeds the minimum requirements for the A-R zoning district and complies with the additional, use-specific standards contained within the zoning ordinance. Specific instances related to compliance with ordinance requirements is located throughout this project narrative, application documents, and associated plans.

4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers.

Adequate essential facilities and services exist for the proposed project. The existing development provides vehicular access on to County Road 641, which is maintained by the County Road Commission in a manner that allows for safe access to the subject property and easily accommodates any potential increase in traffic. No new vehicular access points to the site are proposed as part of this submission. Plans for the proposed changes to the site will be reviewed by the Township Fire Department to ensure that the proposed plans comply with all applicable requirements. Proposed plans have been submitted to the relevant regulatory agencies and comments from these agencies will be provided upon receipt.

5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses.

The design and location of the proposed structures is harmonious with the surrounding properties and neighborhoods. The existing development and additional proposed development of the site occurs in a relatively small area in the northwest corner of the subject property. Proposed structures have been kept sufficiently distant from property lines and will be buffered from the road and adjacent properties by a proposed landscape buffer that complies with Township Ordinance standards. Existing vegetation along all other property lines will be maintained to provide a buffer between the existing uses on neighboring properties and the proposed development.

The existing and proposed activities on site will not create any excessive smoke, fumes, glare, noise, vibration, or odors. All processing and preparation of grown crops will occur indoors

and the agricultural activities on the site are similar to those on any other small, organic farm in the region. Great care has been taken to consolidate existing and proposed site development to the northwest portion of the subject property, preserving a vast majority of the site as vegetated open space, including existing natural features such as the wooded corridor that runs through the site from northeast to southwest. All storm water control, well, and septic facilities on the site have been or will be permitted by the applicable local agencies tasked with their review for compliance with local and state regulations.

- 6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources.**

As described above, great care has been taken to consolidate existing and proposed site development to the northwest portion of the subject property, preserving a vast majority of the site as vegetated open space, including existing natural features such as the wooded corridor that runs through the site from northeast to southwest. All storm water control, well, and septic facilities on the site have been or will be permitted by the applicable local agencies tasked with their review for compliance with local and state regulations. Additionally, the nature of the organic agricultural production that takes place on the site reduces or eliminates many of the potential environmental concerns of standard agricultural practices by eliminating the large-scale disturbance of soils and application of chemicals.

- 7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services.**

The proposed special use will not create excessive additional requirements or costs for public facilities, utilities, or services. The existing and proposed uses, structures, and site elements comply with all applicable local and state regulations. No public facilities or utilities are impacted by the existing or proposed uses and there will be no undue impact on public services. It should be noted that the Township Fire Department has reviewed and approved the existing development of the site and has been provided with proposed plans for review and approval as part of the Site Plan Review process.

- 8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements.**

Proposed plans have been submitted to the relevant agencies and comments from these agencies will be provided upon receipt. All proposed uses, construction, and activities on the site will comply with the standards of the relevant permitting agencies and permits will be obtained prior to construction.

- 9. The following specific requirements shall be met to the extent applicable to the proposed special land use:**
- a. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:**

-
- i. **Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts;**
 - ii. **Proximity and relation of driveway to intersections;**
 - iii. **Minimization of pedestrian and vehicular traffic conflicts;**
 - iv. **Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management.**
 - v. **Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks;**
 - vi. **Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels.**
 - vii. **Adequate maneuverability and circulation for emergency vehicles.**
- b. **Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site.**

The Leelanau County Road Commission has permitted the existing driveways on the subject site for their compliance with all applicable regulations related to driveway number, proximity regulations, potential traffic impacts, sight distance, and maneuverability. Proposed landscape plans complying with Ordinance standards have been submitted with the application for this special use request to provide screening of the proposed uses.

Additional Requirements for Specific Uses (Section 9.8)

The following provides information related to the applicable standards in Section 9.8 of the Ordinance. Ordinance language is shown in **bold** text and responses are shown in plain text.

M. Agricultural Commercial Enterprises

The purpose is to promote agricultural commerce, to conserve valuable farmland, and to protect public safety.

- 1. The use must be associated with a farm operation, operated according to the Generally Accepted Agricultural Management Practices for Farm Markets (GAAMPS) for the State of Michigan and any additional GAAMPS that may apply for the proposed use.**

The proposed expansion of the existing Agricultural Commercial Enterprise on the site is associated with the existing and forthcoming expansion of farming activities on the site. The on-site agricultural activities are operated according to all applicable GAAMPS and the proposed market building with bakery will be operated according to the GAAMPS for farm markets provided by the State of Michigan.

- 2. Accessory Uses. The following area allowed as accessory uses to agricultural commercial enterprises:**
 - a. Petting zoos, animal attractions, and playgrounds.**

- b. Children's games and activities.
- c. Crop mazes and pumpkin patches.
- d. Holiday-oriented activities.
- e. Sales shall be limited to farm products in compliance with GAAMPS for Farm Markets, such as fruit, vegetables, or baked goods; plant and nursery stock; or farm-related products such as milk, cheeses, honey, preserves, or butter. A bakery may exist as part of a farm market.

No accessory uses listed above are proposed. The proposed market building operations will comply with all GAAMPS for farm markets, including the proposed bakery operations.

3. Sales of the following are prohibited unless otherwise authorized by the Ordinance:

- a. Fuel or related products.
- b. Tobacco products.
- c. Lottery tickets.
- d. Vehicles or related products.
- e. New & Used household goods.
- f. Alcohol production and sales.

All sales to occur on site will comply with regulations listed above. The sale of beer and cider produced on the site is permitted through the applicant's license through the MLCC.

4. Shall be located on a minimum parcel size of one (1) acre and shall be owned or leased by the farmer.

The total area of the subject site is slightly over 40 acres and the site is owned and farmed by the applicant and owner.

5. The minimum setback from any lot line for any structure shall be fifty (50) feet. Vegetative planting or agricultural use of land is encouraged between the structure and any property line.

All existing and proposed structures are set back further than 50 feet from all property lines. Both vegetative screening and agricultural plantings are incorporated between structures and property lines to help screen on-site uses from public thoroughfares and adjacent properties.

6. Parking shall be setback a minimum of fifty (50) feet from any side or rear lot line and a minimum of ten (10) feet from the road right-of-way line.

Charter Township of Elmwood
Application for Special Use Permit

Applicant

Field La Femme Properties, LLC

Name

448 E. Front St.

Street Address
Traverse City MI 49686

City State Zip

646-263-2732

Phone Number
gary@farmclubtc.com

Email Address

Owner (if different)

Same as Applicant

Name

Street Address

City State Zip

Phone Number

Email Address

Engineer

Mansfield Land Use Consultants

Name

PO Box 4015

Street Address
Traverse City MI 49685

City State Zip

231-946-9310

Phone Number
dusty@maaeps.com

Email Address

Surveyor

Same as Engineer

Name

Street Address

City State Zip

Phone Number

Email Address

Contact Person (All communications from the Township will be sent to this individual regarding the submitted application) Applicant Owner Engineer Surveyor

Property Information:

Property Address: 10051 & 10103 S. Lake Leelanau Dr.

Parcel Number: 45-004-018 - 004 - 25 & 15 Current Master Plan Designation Rural Low Density

Zoning District: Agricultural-Rural (A-R) Current Use of Property: Ag. Com. Enterprise/Residential

Adjacent Property Zoning AND Use(s): North: A-R, Ag./Residential
East: R-2, Residential
South: A-R, Residential
West: A-R, Residential

Other Remarks: _____

As required by Section 9.3 of the Zoning Ordinance, the Planning Commission shall review the particular circumstances of the special land use permit application in accordance with the requirements of Article 9 (Special Use Permits) and Article 8 (Site Plan Review). Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all of the General Standards and Specific Requirements.

Please use the below tables to detail (with additional pages as necessary) how the proposed project meets the required standards and requirements for a Special Use Permit and Site Plan Review.

<u>Special Use Permit General Standard</u>	<u>Applicant Review</u>	<u>Office Use Only</u>
1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located.	Please see attached project narrative for responses to all SUP General Standards	
2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district.		
3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located.		
4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers.		
5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it		

shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses.		
6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources.		
7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services.		
8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements.		
9. The following specific requirements shall be met to the extent applicable to the proposed special land use:		
a. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:		
i. Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts;		
ii. Proximity and relation of driveway to intersections;		
iii. Minimization of pedestrian and vehicular traffic conflicts;		

iv. Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management.		
v. Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks;		
vi. Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels.		
vii. Adequate maneuverability and circulation for emergency vehicles.		
b. Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site.		

Please note that certain Special land Uses have additional requirements. Please see Section 9.8 of the Zoning Ordinance to see if the proposed special land use has additional requirements. If so, please submit documentation showing how the additional requirements have been met.

Site Plan Review Standard	Applicant Review	Office Use Only
1. All required site plan and application information has been provided as specified in this Article.	Please see attached narrative for responses related to SPF	

2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval.		
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.		
4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met.		
5. Compliance with all non-zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.		
6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.		
7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.		
8. All buildings and structures are accessible to emergency vehicles.		
9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.		
10. The percentage of impervious surface has been limited on the site to the extent practicable.		

11. Efforts have been made to protect the natural environment to the greatest extent possible.		
12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.		
13. The proposal furthers the goals and objectives of the Master Plan.		

SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL

The Ordinance requires specific information be included in each application for Site Plan Approval. Please use the following table to ensure that you have included the required information either on your plan (which must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less) or included elsewhere in your application. Please use additional pages, as necessary.

<u>Site Plan Review Requirement</u>	<u>Applicant Review</u>	<u>Office Use Only</u>
1. Applicant's name, address, and telephone number.	X	
2. Property owner's name, address, telephone number, and signature.	X	
3. Proof of property ownership, and whether there are any options or liens on the property.	X	
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent.	X	
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage.	X	
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers.	X	
7. Project title or name of the proposed development.	X	
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing.	X	

9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site.	X	
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance.	X	
11. A vicinity map showing the area and road network surrounding the property.	X	
12. The gross and net acreage of the parcel.	X	
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels.	X	
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations.	X	
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%.	X	
16. The location and type of existing soils on the site, and any certifications of borings.	X	
17. Location and type of significant existing vegetation.	X	
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes.	X	
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope.	X	
20. Proposed location of all proposed structures, buildings, equipment, and uses.	X	
21. Elevation drawings of typical proposed structures and accessory structures.	X	

22. Location of existing public roads, rights-of-way, easements of record, and abutting streets.	X	
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property.	X	
24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof.	X	
25. Location, size, and characteristics of all loading and unloading areas.	X	
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use.	X	
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable).	X	
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam.	X	
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable.	X	
30. Location, size, and specifications of all signs and advertising features, including cross-sections.	X	
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used.	X	

32. Location and specifications for all fences, walls, and other screening features, with cross sections shown.	x	
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate.	x	
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities.	x	
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities.	x	
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved.	x	
37. North arrow, scale, and date of original submittal and last revision.	x	



CHARTER TOWNSHIP OF ELMWOOD

Planning and Zoning

10090 E. Lincoln Rd, Traverse City, MI 49684

(231) 946-0921 Fax (231) 946-9320

Email: planner@elmwoodtownship.net

The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Benzie-Leelanau District Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator.

Affidavit:

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, and that the answers and statements herein contained and the information submitted are in all respects true and correct. In addition, the undersigned represents that he/she or they is authorized and does hereby grant a right of entry to Township officials for the purpose of inspecting the premises and uses thereon for the sole purpose of gathering information regarding this request.

	2/27/23
Owner Signature	Date
	2/27/23
Applicant Signature	Date

OFFICE USE ONLY:

Case Number: _____ Fee: _____ Paid: _____
 PC Decision: _____ Date: _____



ALWARD FISHER
ATTORNEYS AT LAW

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NMICHLAW.COM

Licensed in Michigan and Illinois

May 23, 2023

Field La Femme
448 E. Front Street
Traverse City, Michigan
49686

Re: Farm Club Proposed Expansion as Microbrewery and Agricultural Commercial Enterprise Uses

To Whom it May Concern:

It is my understanding that Field La Femme Properties, LLC ("Field La Femme"), owner of that property in Elmwood Township on which Field La Femme, LLC d/b/a Farm Club ("Farm Club") operates, is applying to the Elmwood Township Planning Commission for a site plan review for a microbrewery and an Agricultural Commercial Enterprise ("ACE") special use permit for a market and bakery. These two applications, if reviewed and approved by the Planning Commission, would allow for the operation of a microbrewery and market/bakery in addition to the prior nonconforming ACE already in existence on the property. The property would then have three proper and approved uses: a nonconforming use in accordance with Article 10 of the Elmwood Township Zoning Ordinance ("Zoning Ordinance"), a microbrewery with site plan approval under Article 8, and a market and bakery with a special use permit under Article 9.

A review of the Zoning Enabling Act, Michigan Case law, and other relevant authority produced no prohibition on a single property having multiple uses. Much like a strip mall or commercial center has multiple commercial uses on an individual parcel, these three uses of the subject property can exist within a single parcel. It is my opinion that all of the uses, proposed and existing, may coexist and conform with the Zoning Ordinance as valid uses under the Zoning Ordinance and



allow for the current nonconforming uses of the property to move towards compliance with the current Zoning Ordinance.

Existing Agricultural Commercial Enterprise

Field La Femme applied for and received site plan approval for an Agricultural Commercial Enterprise in 2018, which allowed for the production and serving of food, beer, and cider that incorporates ingredients grown on the property by the affiliated farm and a market space within the structure (“2018 ACE”). Since 2018, this portion of the Zoning Ordinance has been amended, making this use a prior nonconforming use. “If the use of . . . land is lawful at the time of enactment of a zoning ordinance or an amendment to a zoning ordinance, then that use may be continued although the use does not conform to the zoning ordinance or amendment.” MCL 125.3208(1).

Field La Femme and Farm Club will maintain this nonconforming use in addition to the other proposed uses. “A prior nonconforming use is a vested right in the use of particular property that does not conform to zoning restrictions but is protected because it lawfully existed before the zoning regulation’s effective date.” *Belvidere Twp v Heinze*, 241 Mich App 324, 328 (2000). The Elmwood Township Zoning Ordinance provides that a nonconforming use may be continued so long as it is not discontinued, expanded, or enlarged, increased or extended. Zoning Ordinance § 1.02.

Field La Femme gained a vested right to use the land as approved in the 2018 ACE, they have continued that use, and that use will be maintained without being expanded or enlarged. “[T]he continuation of a nonconforming use must be substantially of the same size and same essential nature as the use existing at the time of a valid zoning ordinance and that the use must be within the same spatial confines that the prior use was occupied.” *Twp of White Lake v Lustig et al.*, 10 Mich App 665, 673-74 (1968). The uses under the 2018 ACE are prior nonconforming uses, which are permitted by law to continue. So long as Field La Femme and Farm Club maintain the use, it is a proper use.

Site Plan Approval – Microbrewery

Microbreweries are permitted within the A-R zoning district after a site plan review with planning commission approval. Zoning Ordinance § 5.4; § 8.2(C)(2). While Farm Club currently operates a brewery under the 2018 ACE, an approved site plan review for a microbrewery will bring



that portion of the prior nonconforming use into compliance with the Zoning Ordinance. Because the law discourages nonconforming uses (*See Fredal v Forster*, 9 Mich App 215 (1967)), this request for site plan approval will be in the spirit of established case law in Michigan of reforming property uses to those allowed by a local ordinance.

The Zoning Enabling Act authorizes local governmental units to “require the submission and approval of a site plan before authorization of a land use or activity regulated by a zoning ordinance.” MCL 125.3501(1). Further, “[t]he procedures and requirements for the submission and approval of site plans shall be specified in the zoning ordinance” and a decisions “rejecting, approving, or conditionally approving a site plan shall be based upon the requirements and standards contained in the zoning ordinance.” MCL 125.3501(2)-(3). If an application for site plan approval contains the information required by the ordinance and is in compliance with the required conditions, the site plan must be approved. MCL 125.3501(5); *See Hesse Realty, Inc v City of Ann Arbor*, 61 Mich App 319 (1975). Site plan reviews are intended to allow Elmwood Township and the applicant to “work together to achieve the goals of the Master Plan and adopted subarea plans and to promote a development designed in the best interests all parties.” Zoning Ordinance § 8.1.

The property is currently zoned as an agricultural rural (“A-R”) district. One intent of the A-R district is to encourage “continued agricultural pursuits and recognizes the historic importance of agriculture to the region and the need for productive and unique farmland to sustain the food production of the region and the nation.” Zoning Ordinance § 4.3(A). This microbrewery produces beverages that economically supports the onsite farm production and provides a unique experience for those visiting so that they can better appreciate the agricultural nature of the area through agritourism.

The Master Plan for Elmwood Township (“Master Plan”) indicates that the subject property will be located in the Rural Low Density (“RLD”) District. Master Plan, pg. 50. The intent of the RLD district states, in part:

“[i]t is not the intent of this plan to encourage residents away from agriculture or in any way create difficulty for those who are committed to remain in farming for the foreseeable future. Developments occurring adjacent to those areas where farming activities are expected to continue should incorporate appropriate design measures to minimize the impact of development on land which is being farmed.”

Master Plan, pg. 39. This language seems to suggest that while the Township is open to moving some of the land into low density residential, the preference is to maintain use of land for farming. The site



plan approval for the microbrewery helps economically support the agricultural use of the property. Because the microbrewery supports the agricultural use of the property, which is preferred by the current Zoning Ordinance and Master Plan, the site plan approval will not only allow part of the nonconforming use to come into compliance with the Zoning Ordinance, but also supports the agricultural nature of the property as preferred by the Township.

Special Use Permit for Agricultural Commercial Enterprise – Market and Bakery

Agricultural Commercial Enterprise is allowed within the A-R district with a special use permit. Zoning Ordinance, §5.4. The Zoning Enabling Act authorizes local governmental units to provide for special land uses within their ordinances. MCL 125.3504. If a township does provide for special land uses, the requirements and standards for approval must be specified within the ordinance. MCL 125.3504(1). “A request for approval of a land use or activity shall be approved if the request is in compliance with the standards stated in the zoning ordinance, the conditions imposed under the zoning ordinance, other applicable ordinances, and state and federal statutes.” MCL 125.3502(3).

Special use permits are governed by Article 9 of the Zoning Ordinance. Article 9.3 of the Zoning Ordinance lays out the standards by which a special use permit must conform. “Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all the General Standards and Specific Requirements” listed in Article 9.3. Zoning Ordinance § 9.3

Many of the general standards listed in the Zoning Ordinance focus on ensuring the use conforms with the existing character of the area and reducing impact on adjacent parcels. In requesting approval of a special use permit, Field La Femme is requesting the ability to add additional parking. Parking has been a stressor for the business and adjacent parcels, and the additional parking requested will help relieve this strain by not only reducing the burden on adjacent parcels by greatly reducing any parking on the public road shoulder, but also reducing the visibility of vehicles from the roadway to help maintain the scenic aspect of the area.

The Zoning Ordinance provides that there must be 1 space for every 100 square feet of retail floor area open to the public. Zoning Ordinance § 6.1.3. The same section also provides that restaurants, including outdoor seating, must have 1 space for every 3 people allowed by occupancy permit. There is no occupancy permit issued for outdoor seating, and as such Field La Femme is



offering a “maximum permitted occupancy” that encompasses the outdoor seating area as if it could have an occupancy permit. Their application provides for 1 space for every 3 people in this “maximum permitted occupancy,” it goes above and beyond the standard that would be set by an occupancy permit.

The site plan approval and special use permit here would allow Field La Femme and Farm Club to reduce stressors on the adjacent parcel, maintain the agritourism that showcases the agricultural nature of Elmwood Township, and move towards compliance with the current Zoning Ordinance and the Township’s Master Plan. The uses on the parcel help support the onsite farm operation and preserves a larger agricultural parcel. The prior nonconforming use, the microbrewery, and the farm market and bakery will continue similar uses on the land which are already in place while reducing impact on neighbors by providing for more parking. It is my opinion that all uses are proper within the parcel and conform to the Zoning Ordinance and are in the spirit of the Master Plan.

Should you have any questions or concerns, please contact me directly.

Sincerely,

ALWARD, FISHER, RICE, ROWE & GRAF, PLC

David H. Rowe

DHR/ekm
CC: Client
Enclosures

W:\Farm Club\Opinion Letter.docx

Dusty Christensen

From: Dusty Christensen
Sent: Thursday, August 17, 2023 8:35 AM
To: Keith Tampa
Subject: Farm Club - Plan Review
Attachments: 17113 plan15.pdf; 08_02_23 Farm MKT Progress.pdf.pdf

Good morning Chief Tampa,

Proposed additions to the Farm Club property are heading to the Township Planning Commission for review at their September meeting and the Township's Site Plan Review process requires that we provide comments from relevant permitting agencies for the Planning Commission's consideration. I have attached an updated set of plans for the proposed improvements to this email for your review. The attached plans illustrate a new proposed farm market building and small parking area on the site.

Please let me know if you have any questions or if additional information is needed!

Thank you!

Dusty Christensen, LLA
Landscape Architect
Mansfield Land Use Consultants
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
231-360-7021

Dusty Christensen

From: Dusty Christensen
Sent: Thursday, August 17, 2023 8:32 AM
To: byonker@bldhd.org
Subject: Farm Club - Proposed Site Improvements
Attachments: 17113 plan15.pdf

Hello Brett,

In the past, I have spoken with Jim about the proposed improvements at the Farm Club site and he indicated that you are now the sanitarian for Elmwood Township. The proposed additions to the property are heading to the Township Planning Commission for review at their September meeting and the Township's Site Plan Review process requires that we provide comments from relevant permitting agencies for the Commission's consideration. I have attached an updated set of plans for the proposed improvements to this email for your review. Please share any comments that you may have and note that a permit application for construction will be submitted following a Planning Commission approval and prior to construction. If there is a formal application/fee for preliminary review that we need to complete, please let me know.

The hope is that the proposed expansion to the uses on site can utilize the existing septic system for waste disposal, and this is what is illustrated on the plans. Should the existing system or drain field need expansion, we will need to account for this in a forthcoming plan update.

Please let me know if you have any questions or need additional information.

Thank you!

Dusty Christensen, LLA
Landscape Architect
Mansfield Land Use Consultants
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
231-360-7021

Dusty Christensen

From: Steve Christensen <schristensen@leelanau.gov>
Sent: Thursday, August 17, 2023 1:16 PM
To: Dusty Christensen
Subject: RE: Farm Club

Greetings!

We are in receipt of the proposed plans for the additions to the farm club.
We anticipate few if any changes before we can issue a soil erosion control permit.
Call with any questions.
Steven R Christensen

From: Dusty Christensen <dusty@maaeps.com>
Sent: Thursday, August 17, 2023 8:27 AM
To: Steve Christensen <schristensen@leelanau.gov>
Subject: Farm Club

Good morning,

Proposed additions to the Farm Club property are heading to the Township Planning Commission for review at their September meeting and the Township's Site Plan Review process requires that we provide comments from relevant permitting agencies for the Planning Commission's consideration. I have attached an updated set of plans for the proposed improvements to this email for your review. Please share any comments that you may have and note that a permit application for construction will be submitted following a Planning Commission approval and prior to construction.

Please let me know if you have any questions or need additional information!

Thank you!

Dusty Christensen, LLA
Landscape Architect
Mansfield Land Use Consultants
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
231-360-7021

Sarah Clarren

From: Dusty Christensen <dusty@maaeps.com>
Sent: Tuesday, August 1, 2023 3:11 PM
To: Sarah Clarren
Subject: RE: Farm Club
Attachments: 17113 plan14.pdf; 17113 plan14_BLDG SHEET.pdf; 17113 plan14_Lighting Exhibit.pdf; wst-led.pdf

Hi Sarah,

Thank you for answering my question regarding the escrow for this project over the phone the other day and apologies for the delayed reply to your email below.

I have attached a PDF of the submitted plans here and responded to your questions/items below in **red text**.

Please let me know if there is additional information needed or if there are any questions.

Thank you!

Dusty Christensen, LLA
Landscape Architect
Mansfield Land Use Consultants
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
231-360-7021

From: Sarah Clarren <planner@elmwoodmi.gov>
Sent: Wednesday, July 5, 2023 2:17 PM
To: Dusty Christensen <dusty@maaeps.com>
Subject: Farm Club

Dusty,

I've completed a second review and found some missing elements. I've also listed some concerns which will need to be addressed.

Missing elements:

- Section 8.4.8 - missing project completion schedule/phasing **The proposed project (except for the future green houses shown) will be completed in one phase. It is intended that this one phase begin in the fall of 2023 and be completed in spring or summer of 2024.**
- Section 8.4.10 - total and usable floor area **The total floor area and usable floor area of the proposed market building are 1,564 S.F.**
- Section 8.4.28 - Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam **Plans will be updated to include the locations of on-site utilities that may not be shown.**
- Section 8.4.31 - Type of fixtures and shielding to be used for exterior lighting. **The exterior light fixtures used for the completion of the proposed site lighting exhibit are full cutoff Lithonia wall sconces, and a cutsheet for the fixtures is attached to this email.**

I can't find evidence that the plans have been sent to other applicable agencies. Please submit evidence that this has been done and forward any comments as they are received. **In a separate email, I will pass along agency correspondence and any comments received.**

If you could also email me a PDF of the plans, I would appreciate it. **Plan PDFs attached.**

Concerns

- I had previously requested escrow, but I cannot locate if escrow was submitted. Please advise. **The applicant will be delivering an escrow check to the Township offices.**
- **Parking** will need to be revised again. Calculations provided in the revised narrative are seeking to change the parking calculations of the entire site, including items that are pre-existing nonconforming, which cannot be altered. Your client obtained 36 parking spaces in 2018. Exceeding the maximum permitted parking was granted at that time.

Your revised 2023 narrative raises a point I overlooked; building code does not specify a maximum occupancy for outdoor areas. That said, it would not be appropriate to utilize a parking requirement based on occupancy permit; enforcement will be impossible. That said, I've had another look at our parking table and as the use is 'Microbreweries/Distilleries,' I looked at past applications for distilleries and see that the parking calculation utilized was 5 spaces plus 1 per employee on largest shift. You may request the Commission approve additional parking for valid reasons identified within the Ordinance.

I will work to update the project parking calculations and include them in an updated plan PDF. I had assumed that parking requirements would be calculated based on being most similar to the "restaurants including outdoor seating and tasting rooms" category in Section 6.1.3.A of the Ordinance. Like you indicate, having no Ordinance-defined minimum parking requirement for the defined use (microbrewery) and no set occupancy for the outdoor area makes this difficult to calculate. Regardless of where the calculated minimum number of required spaces ends up, I believe that there is a definite need for the additional parking spaces proposed on the plans. We will assume that we are making a request to the PC to approve the parking shown on the plans and provide any supporting documentation for that discussion prior to the meeting.

- **Use.** I question how 171 people drinking outside aligns with a microbrewery where the processing / brewing area was only permitted to be 1398square feet—it sounds much more like a bar. I spoke with the Township Attorney on this today and they've indicated that although "Microbreweries...regulated by Michigan Liquor Control Commission" (Section 5.4) are allowed under SPR, he suggested that evidence be provided that the MI Liquor Control Commission has approved or will be able to approve what is proposed. **The applicant is currently seeking evidence from the MLCC that they can/will be permitted for the proposed expansion of the facility. Information will be passed along when received.**
- **Cider (wine).** You have yet to address my previously raised concern raised regarding if cider will be served from the 'beverage service station.' If it will serve cider, then you'll need to go the route of seeking approval for a wine tasting room which comes with a size limitation. Cider, based on 2018 approvals, can only be served in the building, at the now pre-existing nonconforming restaurant and adjacent tasting room within the building, as well as on the patio approved in 2018. Any expansion needs to conform to the zoning ordinance. How is this separated from the requested "prop. Lawn seating area for outdoor bar?" **To my recollection, this project, based on its existing conditions, cannot comply with the tasting room size restrictions. The applicant is maintaining their ability to serve cider in the existing building and patio. If the satellite beverage service station cannot serve cider based on the tasting room restrictions, it will serve as a satellite service station for the microbrewery use on the site.**
- On sheet C3.0 there is text regarding "future, as-approved greenhouses." As that approval requires SPR, I'll add that to the Planning Commission's review. Please advise if there is any retail space associated with the

greenhouse a that would be 1 space for every 600 sq ft of retail space. **There is no retail space or public access proposed within the greenhouses shown on the plans.**

Best,

Sarah

Sarah Clarren
Planner / Zoning Administrator
Elmwood Township
(231)946-0921

Township Office Hours
Monday - Friday
9:00 am - 5:00 pm

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Sarah Clarren

From: Dusty Christensen <dusty@maaeps.com>
Sent: Tuesday, August 22, 2023 10:23 AM
To: Sarah Clarren
Subject: Farm Club - MLCC information

Good morning Sarah,

I received the following email from Gary regarding the MLCC's ability to license the proposed changes to the plans. The MLCC doesn't have an issue with any of the site improvements/expansions. If further information is needed, please let me know.

Thank you,

Dusty Christensen, LLA
Landscape Architect
Mansfield Land Use Consultants
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
231-360-7021

From: Gary Jonas <gary@farmclubtc.com>
Sent: Monday, August 21, 2023 10:47 AM
To: Dusty Christensen <dusty@maaeps.com>
Cc: loma farm <lomafarm@gmail.com>
Subject: Re: Market Building

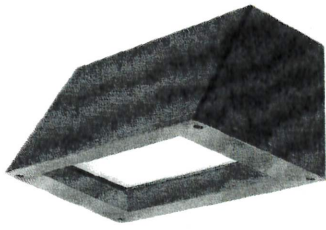
Dusty

I've reached out to the MLCC again. They confirmed that as a microbrewery there are no limitations or additional requirements for the additional bar. If the township wants further clarification for this, they can contact the MLCC licensing department. 517-284-6250

Let me know if you have any other questions or need further clarification for this.

thanks

Gary



WST LED

Architectural Wall Sconce



Catalog
Number

Notes

Type

Specifications

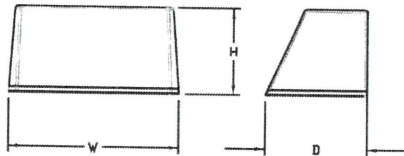
Luminaire

Height: 8-1/2"
(21.59 cm)

Width: 17"
(43.18 cm)

Depth: 10-3/16"
(25.9 cm)

Weight: 20 lbs
(9.1 kg)



Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.



Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DBBTXD

WST LED

Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT ¹ 277 ²	Shipped included (blank) Surface mounting bracket PBBW Premium surface-mounted back box ^{3,4} Shipped separately BBW Surface-mounted back box ³
	P2 3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120 ² 347 ²	
	P3 6,000 Lumen package	40K 4000 K		208 ² 480 ²	
		50K 5000 K		240 ²	

Options

Options	Finish (required)
NLTAIR2 PIR nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights ^{5,6,7}	DDBXD Dark bronze
NLTAIR2 PIRH nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ^{5,6,7}	DBLXD Black
PE Photoelectric cell, button type ⁸	DNAXD Natural aluminum
PER NEMA twist-lock receptacle only (controls ordered separate) ⁹	DWHXD White
PER5 Five-wire receptacle only (controls ordered separate) ⁹	DSSXD Sandstone
PER7 Seven-wire receptacle only (controls ordered separate) ⁹	DBBTXD Textured dark bronze
PIR Motion/Ambient Light Sensor, 8-15' mounting height ^{5,6}	DBLBXD Textured black
PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,6}	DNATXD Textured natural aluminum
PIRH 180° motion/ambient light sensor, 15-30' mounting height ^{5,6}	DWHGXD Textured white
PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,6}	DSSTXD Textured sandstone
SF Single fuse (120, 277, 347V) ²	
DF Double fuse (208, 240, 480V) ²	
DS Dual switching ¹⁰	
DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹¹	
E7WH Emergency battery backup, Non CEC compliant (7W) ⁷	
E7WC Emergency battery backup, CA Title 20 Noncompliant (cold, 7W) ^{7,12}	
E7WHR Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W) ^{7,13}	
E20WH Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS ⁷	
E20WC Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS ^{7,12}	
E23WHR Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W) ^{7,12,14}	
LCE Left side conduit entry ¹⁵	
RCE Right side conduit entry ¹⁵	
BAA Buy America(n) Act Compliant	
Shipped separately	
RBPW Retrofit back plate ³	
VG Vandal guard ¹⁵	
WG Wire guard ¹⁵	

See Accessories and Notes on next page.



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WST-LED
 Rev. 08/02/22

Accessories

Ordered and shipped separately.

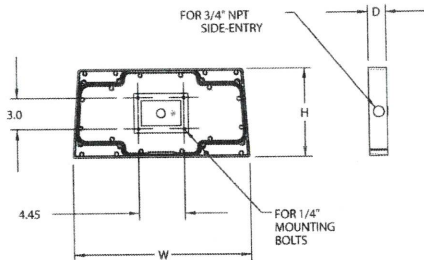
WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WSBBW DDBTXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁷

NOTES

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 2 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 3 Also available as a separate accessory; see accessories information.
- 4 Top conduit entry standard.
- 5 Not available with VG or WG. See PER Table.
- 6 Reference Motion Sensor table.
- 7 Not available with 347/480V.
- 8 Need to specify 120, 208, 240 or 277 voltage.
- 9 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 10 Not available with Emergency options, PE or PER options.
- 11 DMG option not available with standalone or networked sensors/controls.
- 12 Battery pack rated for -20° to 40°C.
- 13 Comes with PBBW.
- 14 Warranty period is 3-years.
- 15 Not available with BBW.
- 16 Must order with fixture; not an accessory.
- 17 Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

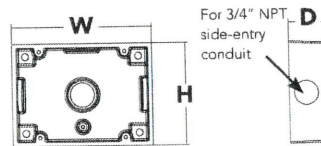
Optional Back Box (PBBW)

Height:	8.49" (21.56 cm)
Width:	17.01" (43.21 cm)
Depth:	1.70" (4.32 cm)



Optional Back Box (BBW)

Height:	4" (10.2 cm)
Width:	5-1/2" (14.0 cm)
Depth:	1-1/2" (3.8 cm)



Emergency Battery Operation

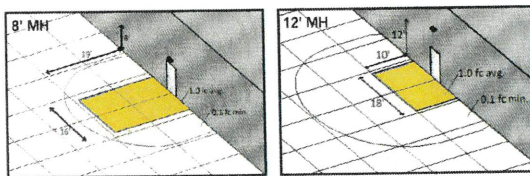
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of [NFPA 70/NEC 2008 - 700.16](#)

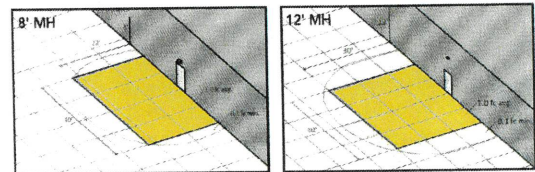
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per [International Building Code Section 1006](#) and [NFPA 101 Life Safety Code Section 7.9](#), provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH



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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	---	---
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	---	---
	P2	25	0.21	0.13	0.11	0.1	---
30		---	---	---	---	0.09	0.06
P2 DS	25	0.21	0.13	0.11	0.1	---	---
	P3	50	0.42	0.24	0.21	0.19	---
56		---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	---	---

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

*for use with site wide Dusk to Dawn control

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

- ✓ Recommended
- ⊘ Will not work
- ⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Performance Package	System Watts (MVOLT)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
			P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0
VW	1,513	0			0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0	138
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
		VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134



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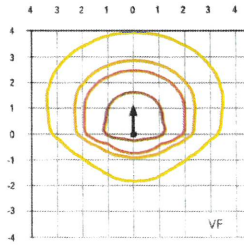
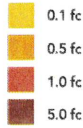
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Photometric Diagrams

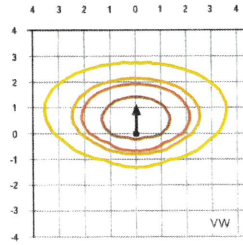
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WST LED homepage](#).

Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').

LEGEND



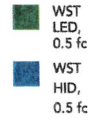
Test No. 39265937, tested in accordance with IESNA LM-79-08.



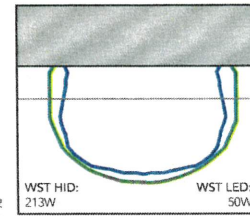
Test No. 31115P37, tested in accordance with IESNA LM-79-08.

Distribution overlay comparison to 175W metal halide.

LEGEND



10' W Sidewalk
LLDs:
WST HID = 0.72
WST LED = 0.95



WST LED P3 40K VF
WST 175M FT Probe, 12' Mounting Ht

FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

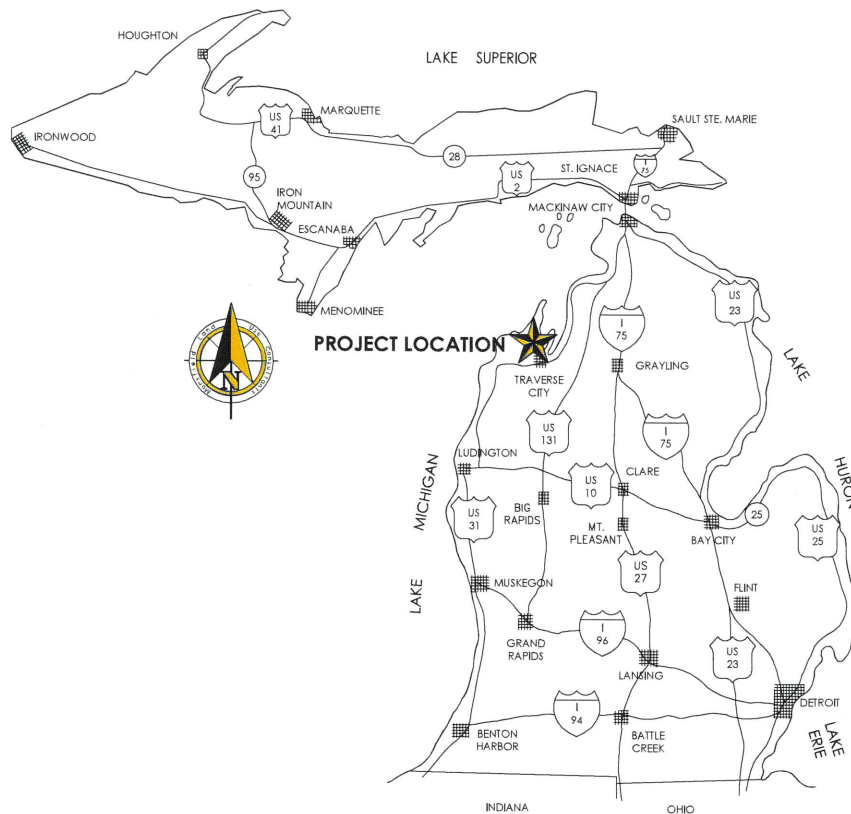
All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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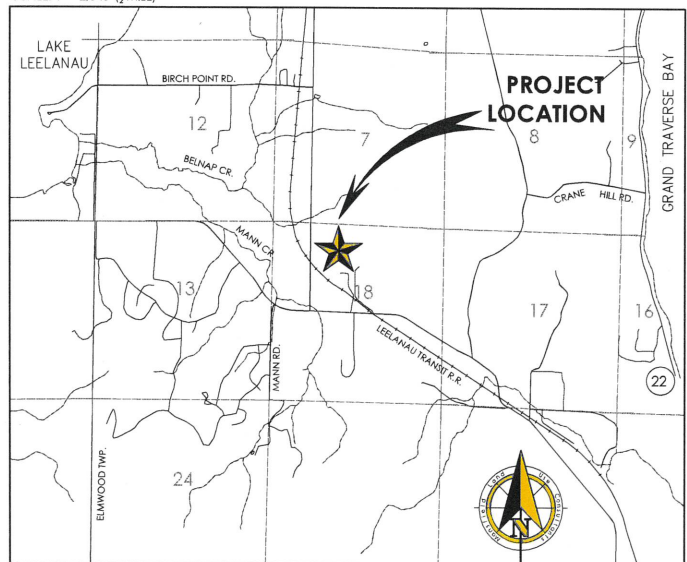
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MICHIGAN LOCATION MAP

Project Data			
Owner/Applicant/Developer:	Field La Femme Properties, LLC		
Address:	448 E. Front St., Traverse City, MI 49684		
Contact:	Gary Jonas		
Cell:	646-263-2732		
Email:	gary@farmclubtc.com		
Site			
Parcel Address	Tax ID	Parcel Description	
10051 S. Lake Leelanau Dr., Traverse City, MI 49684	45-004-018-004-25	PT NE 1/4 OF NW 1/4 SEC 18 COM N 1/4 COR SD SEC TH N 90 DEG 00'00" W 631.45 FT TO POB TH S 20 DEG 17'20" W 341 FT TH S 41 DEG 19'41" W 843.73 FT TH N 02 DEG 09'58" W 954.12 FT TH N 90 DEG 00'00" E 711.49 FT TO POB SEC 18 T28N R11W 8.97 A M/L 2022 SPLIT FROM 004-018-004-10	
10103 S. Lake Leelanau Dr., Traverse City, MI 49684	45-004-018-004-15	PT NE 1/4 OF NW 1/4 SEC 18 BEG N 1/4 COR SD SEC TH S 02 DEG 11'02" E 1323.37 FT TH S 89 DEG 35'40" W 1343.02 FT TH N 02 DEG 09'58" W 378.75 FT TH N 41 DEG 19'41" E 843.73 FT TH N 20 DEG 17'20" E 341 FT TH N 90 DEG 00'00" E 631.45 FT TO POB SEC 18 T28N R11W 31.95 A M/L 2022 COMB/SPLIT FROM 004-018-004-018-004-10 & 004-018-004-20	
Parcel Zoned: A-R			
Existing Use	Proposed Use		
Agricultural Commercial Enterprise	Microbrewery, Farm Market (Ag. Commercial Enterprise)		
Buildings Setbacks Required			
Setback Front	Side Setbacks	Rear	Max. Bldg. Height
50	10'	25'	35'
For building height and complete dimensions see Architectural Plan Set.			

VICINITY MAP
SCALE: 1" = 2.640' (1/4 MILE)



SITE DATA:

PROPERTY I.D.:	45-004-018-004-25
PROPERTY SIZE:	8.97 ACRES
ZONING:	AGRICULTURAL-RURAL (A-R)
PROPOSED LOT COVERAGE:	1.72% (ON PROPERTY 45-004-018-004-25)
PROP. IMP. SURF. COV.:	15.00%
PROPERTY I.D.:	45-004-018-004-15
PROPERTY SIZE:	31.95 ACRES
ZONING:	AGRICULTURAL-RURAL (A-R)
EX. LOT COVERAGE:	0.14% (ON PROPERTY 45-004-018-004-15)
EX. IMP. SURF. COV.:	1.75%

NOTE:
1. APPROVED AG. COMMERCIAL ENTERPRISE INCLUDED BOTH PARCELS NOTED IN TABLE. PROPOSED MICROBREWERY USE AND FARM MARKET PROPOSED ON PARCEL 45-004-018-004-25.

DESCRIPTION	EXISTING	PROPOSED
GROUND CONTOUR	605	613
SPOT ELEVATION	613.2	613.50
CONTOUR FROM USGS TOPOGRAPHIC MAP		613.50
TOP OF CURB ELEVATION	613.5	613.00
PAVEMENT (OR GUTTER FLOW LINE) ELEVATION	613.0	
DIRECTION OF SURFACE FLOW		←
DRAINAGE HIGH POINT		HP.
DRAINAGE LOW POINT		LP.
WATER MAIN	—	—
SANITARY FORCE MAIN	—	—
SANITARY SEWER	—	—
STORM SEWER	—	—
GAS MAIN	—	—
OVERHEAD ELECTRIC	—	—
PROPERTY LINE	—	—
TREE LINE	—	—
PINE LINE	—	—
EDGE OF WETLAND	—	—
EDGE OF WATER	—	—
C/L OR DRAINAGE DITCH OR WATER LINE	—	—
SILT FENCE	—	—
DETENTION BASIN BERM	—	—
MANHOLE (MH)	○	●
CATCH BASIN (CB)	⊗	⊗
CLEAN OUT (CO)	⊗	⊗
RISER	⊗	⊗
GATE VALVE	⊕	⊕
FIRE HYDRANT ASSEMBLY	⊕	⊕
CURB STOP & BOX	⊗	⊗
POLE, POWER OR ELECTRIC	⊗	⊗
LIGHT POLE	⊗	⊗
SIGN	⊗	⊗
BENCH MARK (BM)	⊕	⊕
U/G UTILITY SIGN	⊕	⊕
GUY ANCHOR	⊕	⊕
SOIL EROSION CONTROL MEASURE (MICHIGAN UNIFIED KEYING SYSTEM) P=PERMANENT T=TEMPORARY		⊕
IRON FOUND / IRON SET	●	○
CONCRETE MONUMENT	⊙	⊙
GOVERNMENT CORNER	⊕	⊕
NAIL FOUND / NAIL SET	▲	▲
RECORD / MEASURED	(R)	(M)
FENCE	—	—
WOOD STAKE	□	□

PUBLIC AGENCIES AND UTILITIES
GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW)
 Manager: John Divozzo
 Address: 2650 Lafranier Rd., Traverse City, MI 49686
 Telephone: 231-995-6039

LEELANAU COUNTY ROAD COMMISSION
 Manager: Brendan Mullane
 Address: 10550 E. Eckerle Rd., Traverse City, MI 49682
 Telephone: 231-271-3993

LEELANAU CONSERVATION DISTRICT (SOIL EROSION & SEDIMENTATION CONTROL)
 Supervisor: Steve Christensen
 Address: 8527 E. Government Center Dr., Ste. 205 Sutfins Bay, MI 49682
 Telephone: 231-256-9783

ELMWOOD TOWNSHIP (WATER, SEWER, ZONING)
 Supervisor: Jeff Shaw
 Address: 10090 E. Lincoln Rd., Traverse City, MI 49684
 Telephone: 231-946-0921

CHERRYLAND ELECTRIC COOPERATIVE (ELEC.)
 Engineer: Frank Seipker
 Address: 5930 US-31 S., Traverse City, MI 49684
 Telephone: 231-486-9220

CONSUMERS ENERGY (ELEC.)
 Engineer: Chuck Walkonis
 Address: 821 Hastings St., Traverse City, MI 49686
 Telephone: 231-929-6228

DTE ENERGY (GAS)
 Engineer: Justin Ames
 Address: 700 Hammond Rd., Suite 2, Traverse City, MI 49686
 Telephone: 231-932-2829

AT&T (TELEPHONE)
 Area Engineer: Kathy Dohm-Beiser
 Address: 142 E. State St., Traverse City, MI 49686
 Telephone: 231-941-2707

CHARTER COMMUNICATIONS (T.V.)
 Contact: Devon Newman
 Address: 701 S. Airport Rd., Traverse City, MI 49686
 Telephone: 231-932-8130

POLICE AGENCIES
 EMERGENCIES: 911
 Michigan State Police: 231-946-4646
 Leelanau County Sheriff: 231-256-8800
 Grand Traverse County Sheriff: 231-995-5001

FIRE DEPARTMENTS
 EMERGENCIES: 911
 Elmwood Twp. F.D.: 231-941-1647



Farm Club

Elmwood Township, Leelanau County, Michigan
 - Existing Approved Agricultural Commercial Enterprise Use
 - Proposed Microbrewery Use
 - Proposed Farm Market Use(Ag. Com. Enterprise)

PLAN INDEX

- C1.0 COVER SHEET
- C1.1 NOTES AND DETAILS SHEET
- C2.0 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3.0 S.E.S.C. PLAN
- C4.0 SITE PLAN - OVERALL
- C4.1 SITE & DIMENSION PLAN
- C5.0 GRADING AND STORM PLAN
- L1.0 LANDSCAPE PLAN

830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com

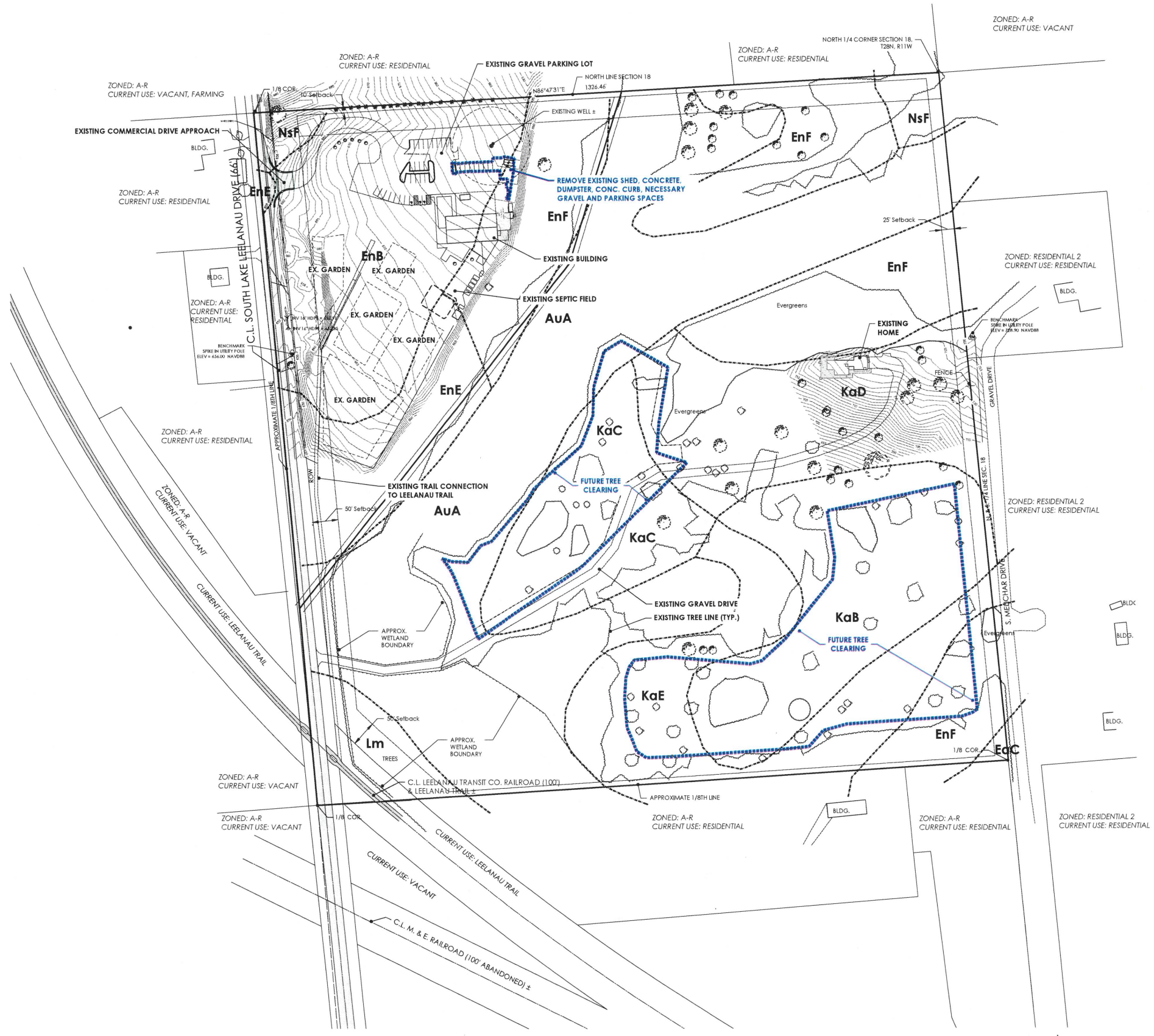
Mansfield
 Land Use Consultants

DATE	BY	REV	DESCRIPTION
04/26/19	dmc	01	Updated Grading and Storm
06/21/19	dmc	02	Permitting Updates
07/15/19	dmc	03	Permitting Updates
08/09/19	dmc	04	Health Department Permitting Updates
08/30/19	dmc	05	Health Department Permitting Updates
09/23/19	dmc	06	Health Department Permitting Updates
04/24/23	dmc	07	Updated Site Plan Review SJP Submission
08/12/23	dmc	08	Updated Site Plan Review and per Wp. Comments

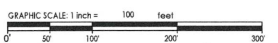
Farm Club
 Farm Club
COVER SHEET
 Section 18, Town 28 North, Range 11 West
 Elmwood Township, Leelanau County, Michigan

PRELIMINARY
DATE: dmc
DATE: mmm dmc
DATE: 17113
C1.0

Map Unit Symbol	Map Unit Name
Arb	Alcona-Richter sandy loams, 2 to 6% slopes
AuA	Au Gres-Kalkaska sands, 1 to 4% slopes
EnB	Emmet-Leelanau complex, 2 to 6% slopes
EnC	Emmet-Leelanau complex, 6 to 12% slopes
EnD	Emmet-Leelanau complex, 12 to 18% slopes
EnE	Emmet-Leelanau complex, 18 to 25% slopes
EnF	Emmet-Leelanau complex, 25 to 50% slopes
KaB	Kaleva sand, 0 to 6% slopes
KaC	Kaleva sand, 6 to 12% slopes
KaD	Kaleva sand, 12 to 18% slopes
KaE	Kaleva sand, 18 to 35% slopes
Lm	Lupton-Markey mucks
NsF	Nester silt loam, 25 to 50% slopes



- NOTES:**
- MOST TREE AND TREE LINE LOCATIONS ARE FROM AERIAL PHOTOGRAPHS AND ARE APPROXIMATE ONLY. A FEW TREES WERE LOCATED DURING TOPOGRAPHIC SURVEY.
 - GROSS ACREAGE = 40.92 ACRES
NET ACREAGE = 39.42 ACRES



NOTE: Properly boundaries, land contours, physical features and the like, illustrated on this plan are exhibited for planning purposes only. Mansfield Land Use Consultants makes no guarantee to the correctness nor the completeness of this information.

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Land Use Consultants

REV	DATE	BY	CHK	DESC
09	04.25.18	dlc	hmn	Final Grading and Storm
10	05.21.18	dlc	hmn	Permitting Updates
11	07.15.18	dlc	hmn	Permitting Updates
12	08.29.18	dlc	hmn	Health Department Permitting Updates
13	08.30.18	dlc	hmn	Health Department Permitting Updates
14	04.24.23	dlc	hmn	Final Grading and Storm
15	04.24.23	dlc	hmn	Final Grading and Storm
16	08.16.23	dlc	hmn	Final Grading and Storm

Farm Club
Farm Club
EXISTING CONDITIONS & DEMOLITION PLAN
Section 18, Town 28 North, Range 11 West
Elmwood Township, Leelanau County, Michigan

DATE: dmc
CREATED: 17.06.12
JOB NO.: 17113
C2.0



CONSTRUCTION NOTES:

- SILT FENCE SHALL BE INSTALLED BEFORE THE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION UNTIL PERMANENT VEGETATION IS ESTABLISHED AND THE SITE IS STABILIZED. THE CONTRACTOR MUST REMOVE THE SILT FENCE UPON COMPLETION.
- ALL STUMPS, LOGS AND CHIPS WILL BE HAULED OFF THE SITE TO A LICENSED LANDFILL/PT. NOTHING SHALL BE BURIED ON SITE.
- THE CONTRACTOR WILL OBTAIN A TEMPORARY ACCESS PERMIT FOR ACCESS ONTO GRAND VIEW ROAD. THE TEMPORARY CONSTRUCTION ACCESS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- ANY REQUIRED STOCKPILES SHALL BE LOCATED INTERNALLY, AWAY FROM THE EXISTING WETLANDS AND WATER COURSE. DORMANT STOCKPILES SHALL BE SEEDED TO PREVENT SEDIMENTATION AND AIRBORNE EROSION.
- THE STORM BASINS SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND DRCHING.
- FINAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE APPROVED S.E.S.C. PERMIT FROM GRAND TRAVERS COUNTY. CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS & WATER BODIES.
- THE LIMITS OF ALL CONSTRUCTION WORK SHALL BE A MINIMUM OF 25' OUTSIDE OF THE EXISTING WETLANDS.
- SLOPES 3:1 OR STEEPER SHALL BE RESTORED WITH MULCH BLANKET, AS NECESSARY.
- THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO CONTROL DUST ON AND ADJACENT TO THE PROJECT SITE. MAINTAIN THE GRAND VIEW ROAD ENTRANCE BY REGULAR SWEEPING, AS NECESSARY UNTIL THE SITE IS PERMANENTLY STABILIZED.

CONSTRUCTION SCHEDULE NARRATIVE:*

ACT	DATE	DESCRIPTION	STATUS
1	01/15/19	INSTALL TEMPORARY S.E.S.C. MEASURES	TO DO
2	01/15/19	STORM BASIN CONSTRUCTION	TO DO
3	01/15/19	SITE GRADING & DRCHING	TO DO
4	01/15/19	UNDERGROUND UTILITIES	TO DO
5	01/15/19	AGG. BASE, HMA PAVEMENT & HMA CURB	TO DO
6	01/15/19	FINAL GRADING & RESTORATION	TO DO
7	01/15/19	SITE CLEANUP, PAVEMENT MARKINGS, SIGNS	TO DO
8	01/15/19	REMOVE TEMPORARY S.E.S.C. MEASURES	TO DO

*THE FINAL CONSTRUCTION SCHEDULE IS SUBJECT TO CHANGE BASED ON PERMIT APPROVALS, MARKET STATUS AND OWNER/CONTRACTOR SCHEDULES.

LEELANAU COUNTY SOILS MAP LEGEND (M1089)

Map Unit Symbol	Map Unit Name
Mb	Alcona-Richter sandy loams, 2 to 6% slopes
AuA	Au Greshk-skeletal sands, 1 to 4% slopes
EnB	Emtel-leelanau complex, 2 to 6% slopes
EnC	Emtel-leelanau complex, 6 to 12% slopes
EnD	Emtel-leelanau complex, 12 to 18% slopes
EnE	Emtel-leelanau complex, 18 to 25% slopes
EnF	Emtel-leelanau complex, 25 to 50% slopes
KaB	Kleva sand, 0 to 6% slopes
KaC	Kleva sand, 6 to 12% slopes
KaD	Kleva sand, 12 to 18% slopes
KaE	Kleva sand, 18 to 35% slopes
Lm	Luplon-Makev mucks
Nsf	Nester silt loam, 25 to 50% slopes

SPK = SPIKE IN UTILITY POLE
EASTING: 5941.65
NORTHING: 2210.17
ELEV = 656.00 NAVD88

Farm Club Farm Club S.E.S.C. PLAN

Section 18, Town 28 North, Range 11 West
Elmwood Township, Leelanau County, Michigan

PRELIMINARY

DATE: 17.06.12
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/8" = 1'-0"

C3.0
17113

NO.	DATE	BY	DESCRIPTION
09	04.25.19	dnm	Updated Grading and Storm
10	05.21.19	dnm	Permitting Updates
11	07.15.19	dnm	Permitting Updates
12	08.09.19	dnm	Health Department Permitting Updates
13	08.30.19	dnm	Health Department Permitting Updates
14	02.23.23	dnm	Ag, Commercial Enterprise Site Submission
15	04.24.23	dnm	Updated Site Plan Review/STP Submission
16	08.16.23	dnm	New Market Bid, Footprint and per. Imp. Comments

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SEE SHEET C4.1 FOR DETAILED SITE PLAN OF NORTHWEST DEVELOPMENT AREA

NOTE: ALL CURRENT PROPOSED CHANGES ARE ON PARCEL 45-004-018-004-25

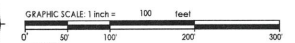
FUTURE PHASE CIDER APPLE ORCHARD

- APPROX. 500 TREES
- HEIRLOOM CIDER VARIETIES
- BITTERS
- SHARPS
- SWEETS & ACID

FUTURE PHASE

- MIXED ANNUAL AND PERENNIAL PRODUCTION
- STORAGE CROPS FOR WINTER RESTAURANT SUPPLY
- BARLEY, HEIRLOOM WHEAT, HEIRLOOM CORN FOR LIMITED RELEASE SEASONAL BEER
- 3 SISTERS (CORN, BEANS, SQUASH)

NOTES:
 1. PINE LINE AS LOCATED BY SURVEYORS IS THE ONLY TREE LINE PHYSICALLY LOCATED IN THE FIELD. ALL OTHER TREE LINES ARE FROM AERIAL PHOTOGRAPHS INDICATING APPROXIMATE LOCATIONS OF SCATTERED AND CLUSTERED TREES ON THE PROPERTY.



NOTE: Property boundaries, land contours, physical features and the like, illustrated on this plan are exhibited for planning purposes only. Mansfield Land Use Consultants makes no guarantee to the correctness nor the completeness of this information.

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REV#	DATE	BY	CHK	DESC
09	04/25/19	dmc	mmj	Updated Grading and Storm
10	05/21/19	dmc	mmj	Updated Grading and Storm
11	07/15/19	dmc	mmj	Updated Grading and Storm
12	08/09/19	dmc	mmj	Updated Grading and Storm
13	08/30/19	dmc	mmj	Updated Grading and Storm
14	09/24/20	dmc	mmj	Updated Grading and Storm
15	08/15/23	dmc	mmj	Updated Grading and Storm

Farm Club
 Farm Club
OVERALL SITE PLAN
 Section 18, Town 28 North, Range 11 West
 Elmwood Township, Leelanau County, Michigan

PRELIMINARY

DATE: dmc
 DRAWN: mmj
 CHECKED: dmc
 CREATED: 17.06.12

JOB NO.: 17113

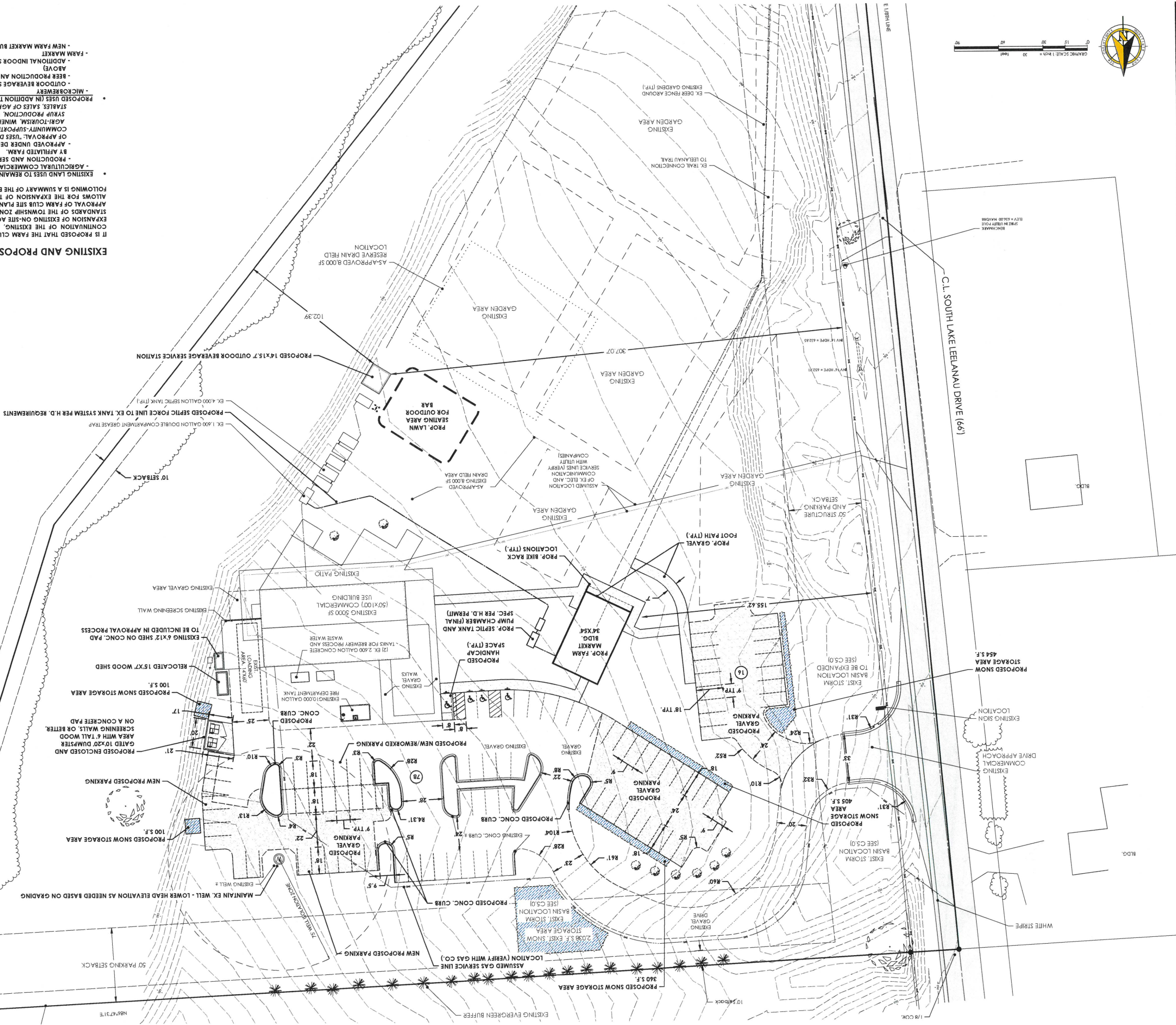
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GRAPHIC SCALE: 1" = 20' 0"

DATE: 10/15/2013 11:11 AM DRAWN BY: J. BERRY PROJECT NO: 17113 SITE: FARM CLUB



EXISTING AND PROPOSED LAND USES:

- AGRICULTURAL COMMERCIAL ENTERPRISE (SITE PLAN APPROVED BY PLANNING COMMISSION IN 2018), INCLUDING: PRODUCTION AND SERVING OF FOOD, BEER, AND CIDER INCORPORATING INGREDIENTS GROWN ON SITE AND BY AFFILIATED FARM.
- APPROVED UNDER DEFINITION OF AGRICULTURAL ENTERPRISES FROM THE ORDINANCE AT TIME OF APPROVAL: USES DEPENDANT UPON ON SITE AGRICULTURAL OPERATION, SUCH AS: COMMUNITY-SUPPORTED AGRICULTURE, U-PICK OR PICK-YOUR-OWN OPERATION, FARM MARKET, NURSERY, AGRITOURISM, WINERY, BREWERY, ICECREAM, BAKERY, BEEKEEPING, HONEY PRODUCTION, MAPLE SYRUP PRODUCTION, GREENHOUSE, COMMERCIAL HUNTING GROUNDS, AGRICULTURAL PROCESSING, RIDING STABLES, SALES OF AGRICULTURAL RELATED PRODUCTS, FARM VACATIONS, CRAFTS, AND SIMILAR USES.*
- PROPOSED USES (IN ADDITION TO EXISTING, APPROVED USES):
- MICROBREWERY
- OUTDOOR BEVERAGE SERVICE STATION AND ASSOCIATED LAWN SEATING
- BEER PRODUCTION AND TASTING ROOM ACCOUNTED FOR IN MAIN BUILDING UNDER EXISTING USE (AS ABOVE)
- ADDITIONAL INDOOR SEATING IN CURRENT MARKET SPACE IN MAIN BUILDING
- FARM MARKET
- NEW FARM MARKET BUILDING WITH BAKERY AND -860 S.F. MARKET RETAIL DISPLAY AREA

IT IS PROPOSED THAT THE FARM CLUB SITE BE VIEWED AND APPROVED AS A MIXED-USE SITE IN ORDER TO ALLOW FOR THE CONTINUATION OF THE EXISTING APPROVED AGRICULTURAL COMMERCIAL ENTERPRISE USE, WHILE ALLOWING FOR THE EXPANSION OF EXISTING ON-SITE ACTIVITIES AND STRUCTURES AND PROVIDING INCREASED CONFORMITY WITH THE CURRENT STANDARDS OF THE TOWNSHIP ZONING ORDINANCE. AS THE ORDINANCE HAS BEEN AMENDED FOLLOWING THE ORIGINAL APPROVAL OF FARM CLUB SITE PLANS, THERE IS NO LONGER AN APPLICABLE DEFINED LAND USE WITHIN THE ORDINANCE THAT ALLOWS FOR THE EXPANSION OF THE EXISTING FACILITY WITHOUT ADDING APPROVALS FOR NEW USES ON THE SITE. THE FOLLOWING IS A SUMMARY OF THE EXISTING AND PROPOSED USES FOR THE FARM CLUB SITE:

EXISTING AND PROPOSED LAND USES:

1. PAVING AND OUT DOOR PATIO AREA ARE LIMESTONE OR PEA GRAVEL.

2. PARKING LOT AND DRIVE ARE LIMESTONE OR PEA GRAVEL.

3. 2,808 S.F. SNOW REMOVAL/STORAGE AREA REQUIRED FOR MAIN BUILDING.

4. 2,718 S.F. SNOW STORAGE AREA PROVIDED.

5. BUILDING, 454 S.F. SNOW STORAGE AREA PROVIDED.

6. ALL LIGHTING TO BE BUILDING MOUNTED AND TO BE FULL CUT OFF AND MEET DARK SKY REQUIREMENTS: CANNOT BE CALCULATED.

7. NUMBER OF REQUIRED PARKING SPACES CAN NOT BE CALCULATED FOR ENTIRE PROJECT, AS THE ZONING ORDINANCE DOES NOT SPECIFY A REQUIRED MINIMUM NUMBER OF SPACES REQUIRED FOR OUTDOOR SEATING AREAS, WHICH ARE A PROMINENT FEATURE AT FARM CLUB. THE FOLLOWING NUMBERS OF SPACES ARE REQUIRED MINIMUMS FOR THE PRIMARY BUILDING AND MARKET BUILDING:

30 (89) OCCUPANCY, MAIN BUILDING - 1 SPACE/3 PEOPLE PER OCCUPANCY

9 (860 S.F. RETAIL AREA IN MARKET - 1 SPACE/100 S.F. RETAIL AREA)

7. PARKING SPACES PROVIDED: 94

THE APPLICANT IS REQUESTING TO INCREASE THE SIZE OF THE EXISTING PARKING AREAS TO INCLUDE 94 SPACES IN ORDER TO ACCOMMODATE THE DEMAND FOR ON-SITE PARKING THAT HAS BEEN OBSERVED AT THE FACILITY.

NOTES:

1. PAVING AND OUT DOOR PATIO AREA ARE LIMESTONE OR PEA GRAVEL.

2. PARKING LOT AND DRIVE ARE LIMESTONE OR PEA GRAVEL.

3. 2,808 S.F. SNOW REMOVAL/STORAGE AREA REQUIRED FOR MAIN BUILDING.

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30 (89) OCCUPANCY, MAIN BUILDING - 1 SPACE/3 PEOPLE PER OCCUPANCY

9 (860 S.F. RETAIL AREA IN MARKET - 1 SPACE/100 S.F. RETAIL AREA)

7. PARKING SPACES PROVIDED: 94

THE APPLICANT IS REQUESTING TO INCREASE THE SIZE OF THE EXISTING PARKING AREAS TO INCLUDE 94 SPACES IN ORDER TO ACCOMMODATE THE DEMAND FOR ON-SITE PARKING THAT HAS BEEN OBSERVED AT THE FACILITY.

REV#	DATE	BY	CHK	DESCRIPTION	
09	04/25/19	dmc	mmh	dmc	Updated Grading and Storm
10	05/21/19	dmc	mmh	dmc	Permitting Updates
11	07/15/19	dmc	mmh	dmc	Permitting Updates
12	08/09/19	dmc	mmh	dmc	Health Department Permitting Updates
13	08/30/19	dmc	mmh	dmc	Health Department Permitting Updates
14	02/23/23	dmc	mmh	dmc	Commercial Enticement Site Submission
15	04/24/23	dmc	mmh	dmc	Updated Site Plan Review/SPR Submission
16	08/16/23	dmc	mmh	dmc	New Market Bldg, Footprint and per. Inv. Comments

PRELIMINARY

DATE: 17.06.17

17113

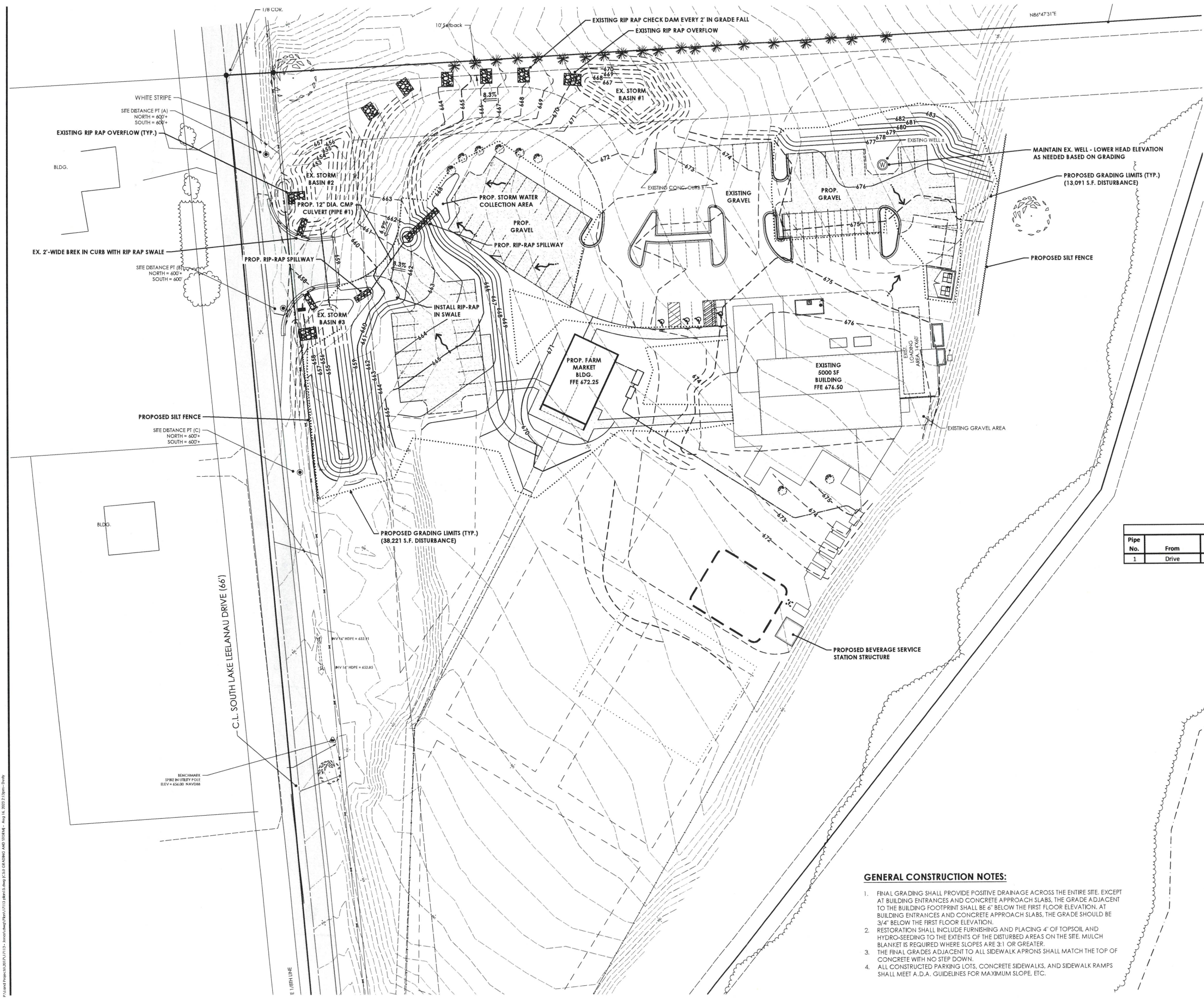
C4.1

**Farm Club
Farm Club
SITE AND DIMENSION PLAN**

Section 18, Town 28 North, Range 11 West
Elmwood Township, Leelanau County, Michigan

Mansfield
Land Use Consultants

8301 Cottageview Dr., Ste. 2011
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com



- NOTES:**
1. REQUIRED BASIN STORAGE VOLUMES CALCULATED USING 2.5" OF STORM WATER FROM IMPERVIOUS SURFACES
 2. STORM WATER FROM ROOF STRUCTURES TO BE STORED AND INFILTRATED IN FRENCH DRAINS OR TO SHEET FLOW TO GENTLY SLOPING GRASS OR FARM AREAS
 3. STORM WATER FROM DRIVEWAY IMPERVIOUS SURFACES SHEET FLOWS TO PROPOSED BASINS OR TO VEGETATED AREA OF THE SITE FOR INFILTRATION
 4. STORM WATER BASINS 1 & 2 WERE COMPLETED DURING INITIAL PHASE OF PROJECT CONSTRUCTION
 5. STORM BASIN 3 TO BE EXPANDED DURING CURRENT PHASE TO ACCOMMODATE ADDITIONAL STORM WATER FROM NEW/EXPANDED PARKING AREAS AND FARM MARKET
 6. EXISTING CONTOURS DEPICTED ARE FROM TOPOGRAPHIC SURVEY COMPLETED PRIOR TO INITIAL CONSTRUCTION AND FIRST PHASE DESIGN CONTOURS. EXISTING SITE GRADES TO BE VERIFIED PRIOR TO CONSTRUCTION
 7. CONTRACTOR RESPONSIBLE FOR VERIFYING AS-BUILT GRADING AND ELEVATIONS PRIOR TO CONSTRUCTION TO ENSURE THAT PROPOSED DESIGN GRADES FUNCTION
 8. STORM WATER FROM EAST SIDE OF EXISTING AND PROPOSED PARKING AREA TO BE DIRECTED TO EAST EDGE OF PARKING SURFACE AND ALLOWED TO SHEET FLOW INTO EAST VALLEY FOR INFILTRATION. STONE BED TO BE INSTALLED ADJACENT TO EAST PARKING SURFACE EDGE IN AREAS OF SHEET FLOW IN ORDER TO SLOW STORM WATER AND REDUCE EROSION POTENTIAL

EXISTING BASIN #1:
 DRAINAGE AREA SIZE (IMP. SURF.) = 0.21 ACRES
 DESIGN OVERFLOW ELEVATION = 670.00
 DESIGN LOW WATER LEVEL = 667.00
 DESIGN MAXIMUM DEPTH = 3.0 FT
 STORAGE VOLUME REQUIRED = 1,929 CFT
 STORAGE VOLUME PROVIDED = 2,405 CFT

EXISTING BASIN #2:
 DRAINAGE AREA SIZE (IMP. SURF.) = 0.19 ACRES
 DESIGN OVERFLOW ELEVATION = 657.50
 DESIGN LOW WATER LEVEL = 653.00
 DESIGN MAXIMUM DEPTH = 4 FT
 STORAGE VOLUME REQUIRED = 1,745 CFT
 STORAGE VOLUME PROVIDED = 2,493 CFT

EXPANDED BASIN #3:
 DRAINAGE AREA SIZE (IMP. SURF.) = 0.31 ACRES
 DESIGN OVERFLOW ELEVATION = 657.50
 DESIGN LOW WATER LEVEL = 655.00
 DESIGN MAXIMUM DEPTH = 2.00 FT
 STORAGE VOLUME REQUIRED = 2,775 CFT
 STORAGE VOLUME PROVIDED = 2,797 CFT

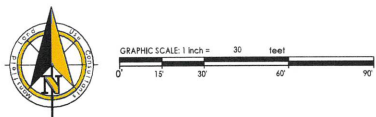
NOTE: BASINS #1 & #2 WERE COMPLETED DURING FIRST PHASE OF SITE DEVELOPMENT. BASIN #3 IS PROPOSED TO BE ENLARGED TO ACCOMMODATE STORM WATER FROM PROPOSED EXPANSIONS

STORM SEWER PIPE SCHEDULE

Pipe No.	From	To	Length	Diameter	Slope	Low Invert	High Invert
1	Drive	Basin #3	41 ft	12 in	1.50%	658.33	658.95

GENERAL CONSTRUCTION NOTES:

1. FINAL GRADING SHALL PROVIDE POSITIVE DRAINAGE ACROSS THE ENTIRE SITE. EXCEPT AT BUILDING ENTRANCES AND CONCRETE APPROACH SLABS, THE GRADE ADJACENT TO THE BUILDING FOOTPRINT SHALL BE 6" BELOW THE FIRST FLOOR ELEVATION. AT BUILDING ENTRANCES AND CONCRETE APPROACH SLABS, THE GRADE SHOULD BE 3/4" BELOW THE FIRST FLOOR ELEVATION.
2. RESTORATION SHALL INCLUDE FURNISHING AND PLACING 4" OF TOPSOIL AND HYDRO-SEEDING TO THE EXTENTS OF THE DISTURBED AREAS ON THE SITE. MULCH BLANKET IS REQUIRED WHERE SLOPES ARE 3:1 OR GREATER.
3. THE FINAL GRADES ADJACENT TO ALL SIDEWALK APRONS SHALL MATCH THE TOP OF CONCRETE WITH NO STEP DOWN.
4. ALL CONSTRUCTED PARKING LOTS, CONCRETE SIDEWALKS, AND SIDEWALK RAMPS SHALL MEET A.D.A. GUIDELINES FOR MAXIMUM SLOPE, ETC.



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 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com

Mansfield
 Land Use Consultants

REV	DATE	BY	CHK	DESC
07	04.25.19	dmc	mmn	dmc Updated Grading and Storm
10	05.21.19	dmc	mmn	dmc Permitting Updates
11	07.15.19	dmc	mmn	dmc Permitting Updates
12	08.09.19	dmc	mmn	dmc Health Department Permitting Updates
13	08.30.19	dmc	mmn	dmc Health Department Permitting Updates
14	10.23.23	dmc	mmn	dmc Ag. Commercial Enlargement SUD Submission
15	10.24.23	dmc	mmn	dmc Updated Site Plan Review/SUD Submission
16	10.18.23	dmc	mmn	dmc New Water Edge, rooftop and pat. rev. Comments

Farm Club
 Farm Club
GRADING AND STORM PLAN
 Section 18, Town 28 North, Range 11 West
 Elmwood Township, Leelanau County, Michigan

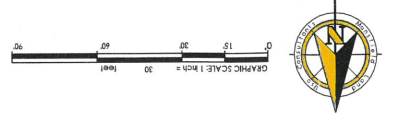
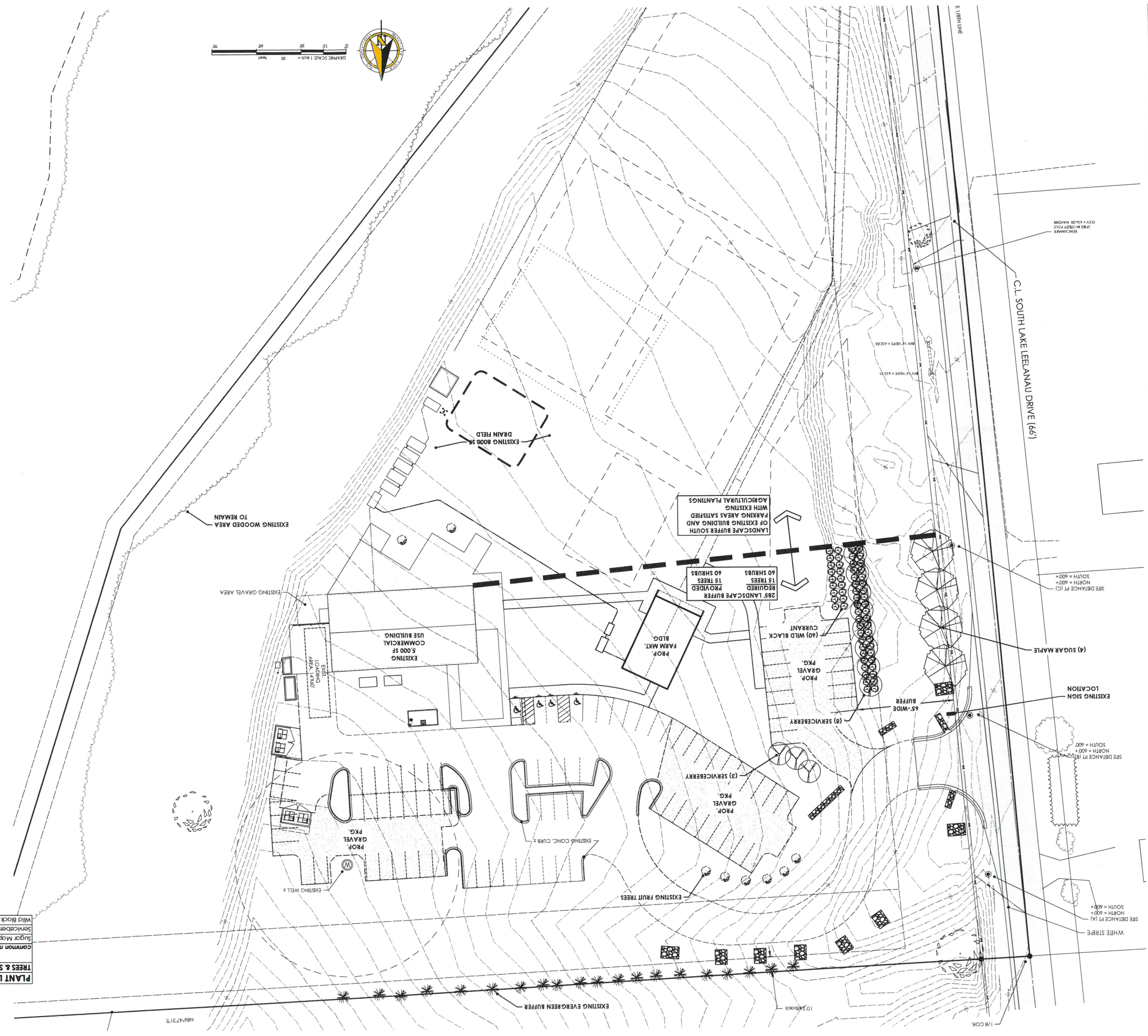
PRELIMINARY

DATE: dmc
 DESIGNED BY: mmn
 CHECKED BY: dmc
 CREATED: 17.06.12

JOB NO.: 17113

C5.0

Plotter: P:\projects\2023\17113 - Farm Club\17113.dwg (S:\D\GRADING AND STORM) - Job 15, 2023.12.08, 1:00pm



PLANT LIST

common name	botanical name	size	quantity
Trees & Shrubs			
		2 1/2' cal. 8x8	4
		6 M.S. 8x8	11
		3 gal.	60
Wild Black Currant	Ribes ornithocorym		
Sugar Maple	Acer saccharum		
American Chestnut	Castanea canadensis		

NOTES:
 1. EXISTING EVERGREEN BUFFER PLANTED AS PART OF ORIGINAL PHASE CONSTRUCTION

DATE	BY	CHK	DESC
09/04/2019	dmc	pmc	Updated Grading and Storm
10/05/21/19	dmc	pmc	Permitting Updates
11/07/15/19	dmc	pmc	Permitting Updates
12/08/09/19	dmc	pmc	Health Department Permitting Updates
13/08/30/19	dmc	pmc	Health Department Permitting Updates
14/02/23/20	dmc	pmc	Commercial Envelope SFP Submission
15/04/24/20	dmc	pmc	Updated Site Plan Review SFP Submission
16/08/15/20	dmc	pmc	How Market Bldg. Footprint and per. Inv. Comments

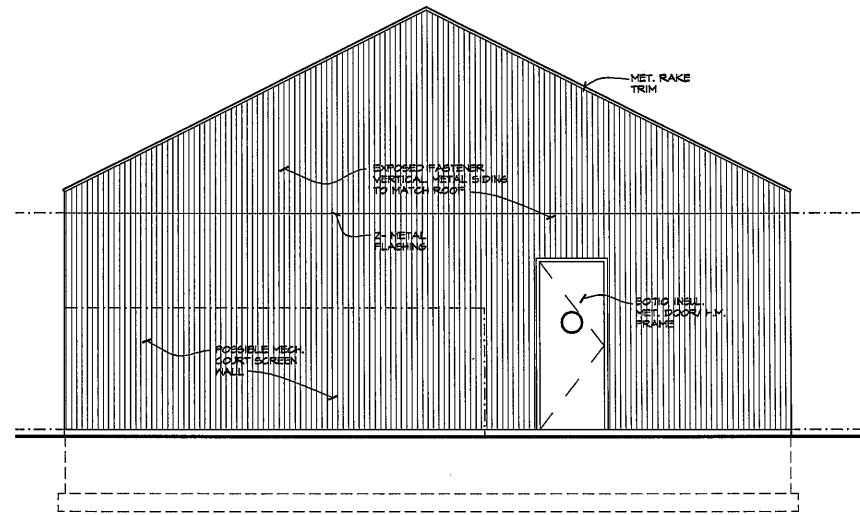
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 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfieldps.com
 info@mansfieldps.com

Mansfield
 Land Use Consultants

Farm Club
 Farm Club
LANDSCAPE PLAN
 Section 18, Town 28 North, Range 11 West
 Elmwood Township, Leelanau County, Michigan

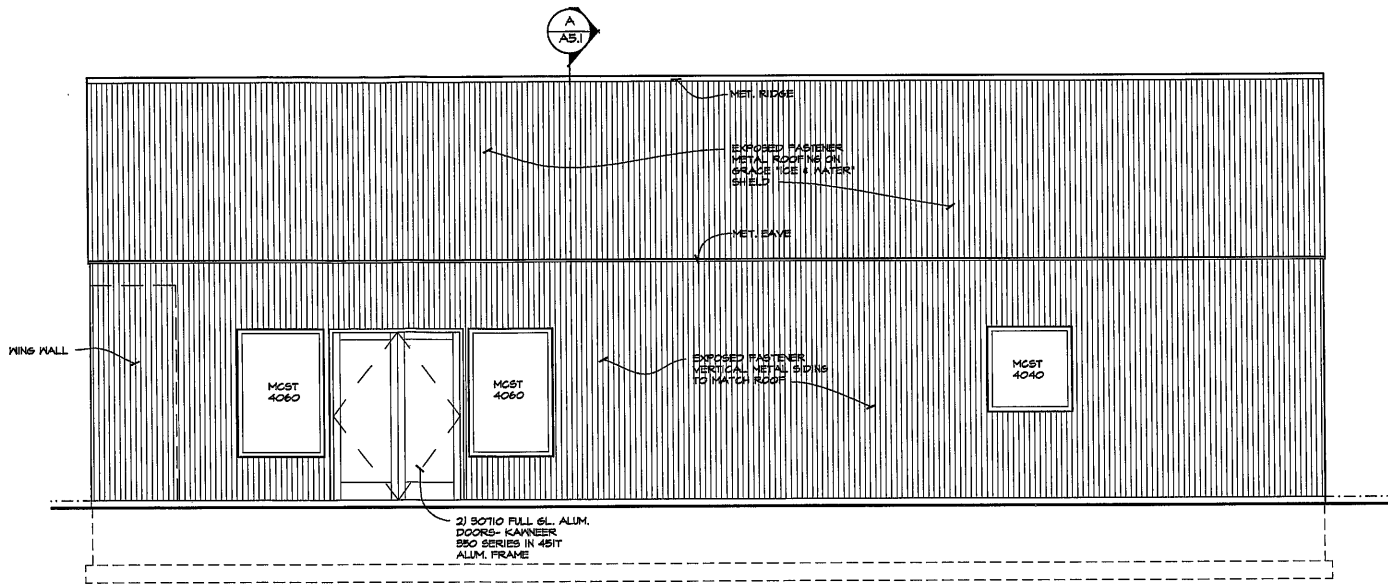
PRELIMINARY

DATE: dmc
 CHECKED: dmc
 DRAWN: dmc
 DATE: 17.06.12
 JOB NO.: 17113
 L10



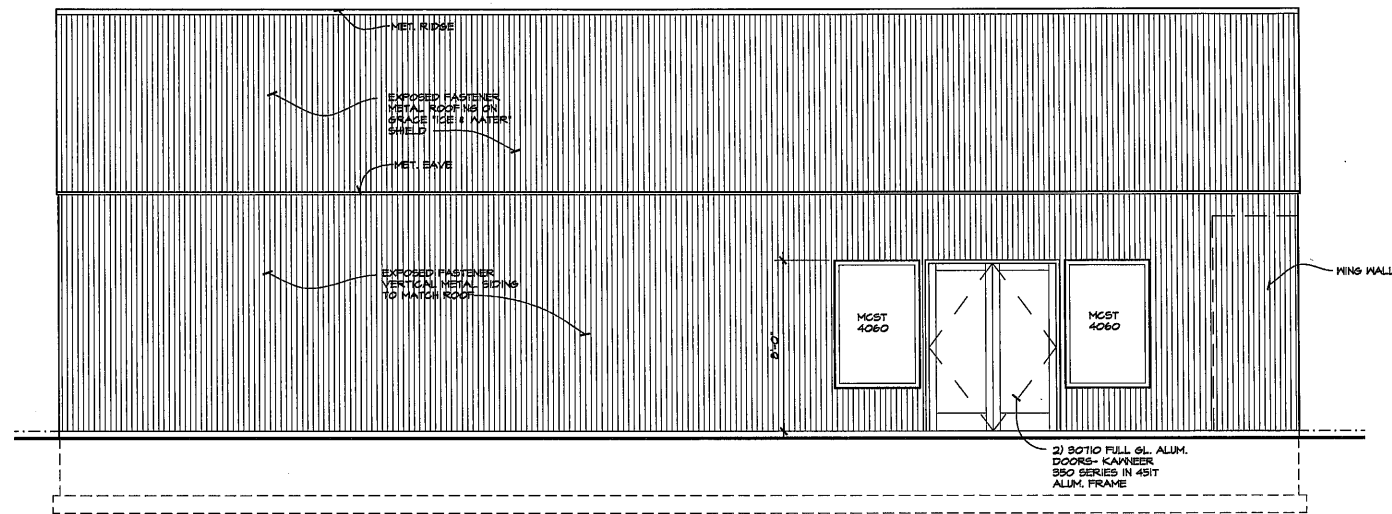
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



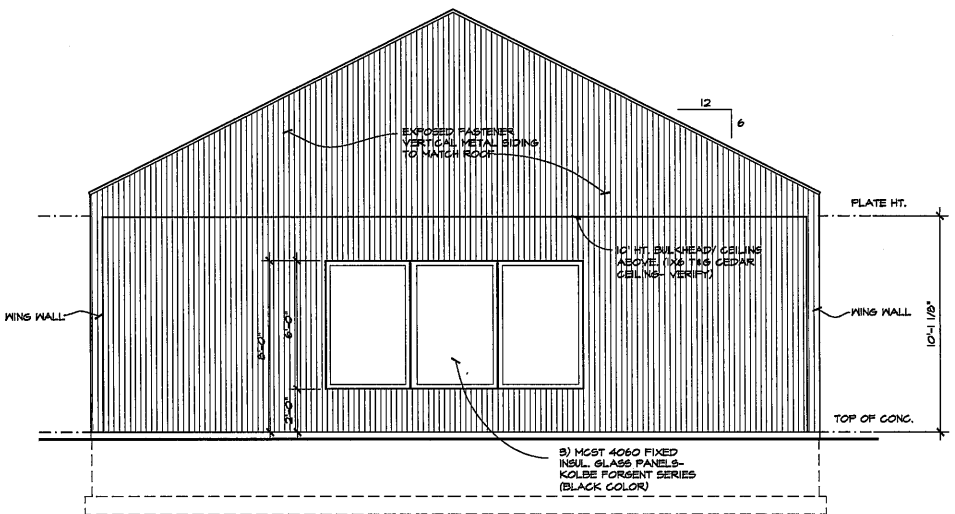
EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED ROOF & WALL METAL SIDING INDICATED

- METAL SALES MANUFACTURING CORPORATION
- 1/8" CORRUGATED ROOF & WALL PANELS IV
- EXPOSED DIRECT-FASTENERS AT SUPPORTS
- INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 24 GAUGE STANDARD WALL & ROOF PANELS
- G40 FINISH PER ASTM A 653 GALVANIZED (BARE GALVANIZED FINISH)
- 1/8" RB HEIGHT

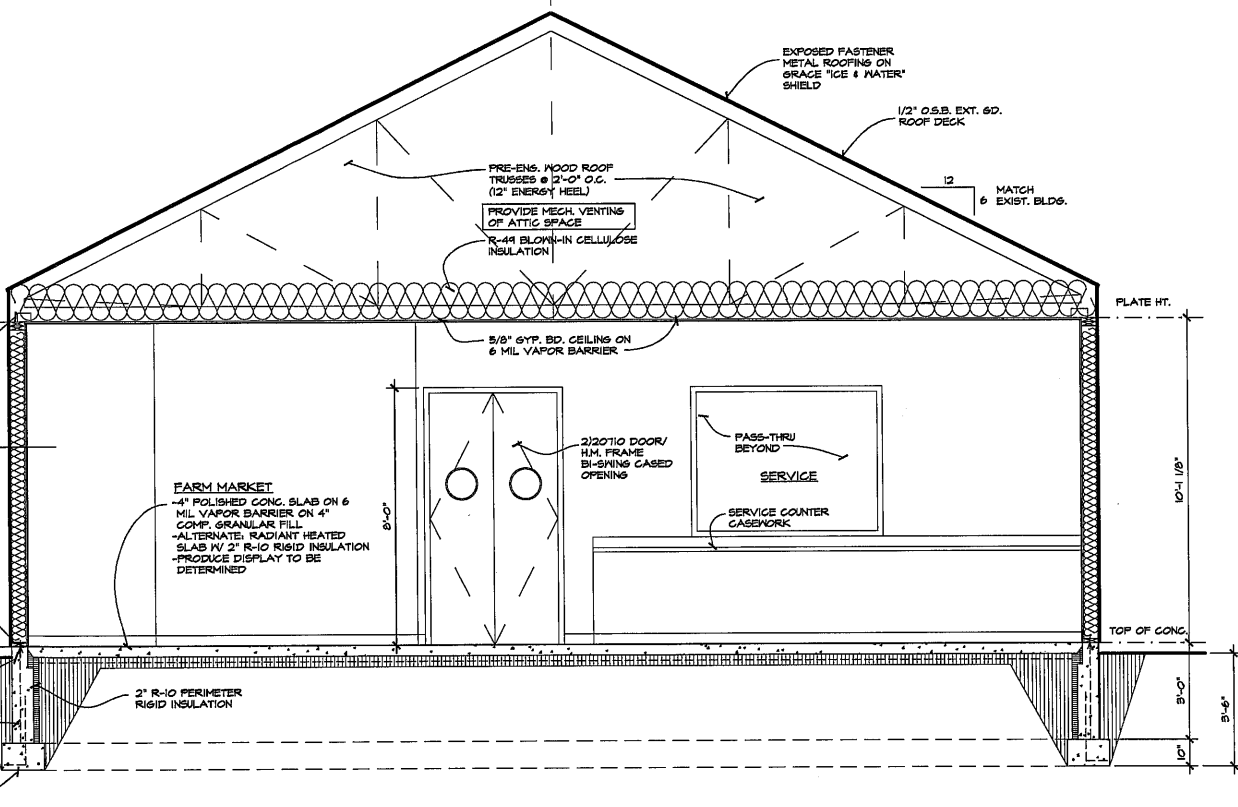
EXTERIOR BEARING WALLS:
 METAL SIDING ON AIR & MOISTURE BARRIER.
 7/16" O.S.B. EXT. 6D. WALL SHEATHING, 2X6
 WOOD STUDS @ 16" O.C. (10" H. 1 1/8" PLATE HT.)
 3/8" GYP. BD. INTERIOR ON 6 MIL VAPOR
 BARRIER, R-21 FIBERGLASS BATT INSULATION
 IN STUD SPACES.

F.T. 2X6 WOOD BASE IV
 ANCHOR STRAPS 4'-0" O.C.
 & 1'-0" FROM CORNERS

6" THICK PERIMETER
 CONCRETE LEDGE

8" THICK CONC.
 FOUNDATION IV CONT. #5
 BAR TOP & BOTTOM & #5
 VERT. BAR @ 4'-0" O.C.

1'-4" X 10" THICK
 CONCRETE FOOTING IV 2)
 #5 BARS CONT. & #5
 DOWEL OUT OF FOOTING @
 4'-0" O.C.



BUILDING SECTION

SCALE: 3/8" = 1'-0"



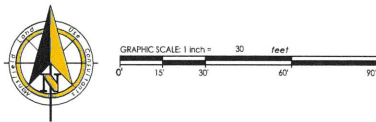
- PRELIMINARY
- CONSTRUCTION
- FINAL RECORD

DRAWING HISTORY:

DATE	DESCRIPTION
09/02/23	

DRAWN BY: DLS
 CHECKED BY: CLIENT
 DATE: 09/02/23
 JOB NO.: 22256
 SHEET #

A5.1



NOTES:

- This lighting plan is for illustrative and zoning approval purposes only, is not an electrical design plan, and is not for construction.
- Light fixture type, specifications, and locations based on existing and assumed new fixture locations and information provided by property owner. Mansfield Land Use Consultants makes no guarantees to the accuracy of illustrated data. Refer to electrical design plans for all design, specification, and construction purposes.
- See relevant architectural and electrical project plans for additional detail related to site lighting, fixture types, fixture specifications, and fixture locations.
- Lithonia Lighting WST LED Wall Sconce photometric data used for proposed and existing wall mounted fixtures.
- All fixtures are full cut-off and comply with Township Zoning Ordinance standards.
- All fixtures have a lamp color temperature of 3000K.
- All fixtures are wall-mounted and have an assumed mounting height of 10'.

DISPLAY NOTES:
 GRID POINTS ARE LABELED WITH SPECIFIC FOOT CANDLE MEASUREMENT AT EACH POINT

ISOLINE VALUES:
 PINK - 1.0 F.C.
 RED - 0.5 F.C.
 GREEN - 0.25 F.C.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	8	FE1_WST_LED_P2_30K_VF_MVOLT	Single	N.A.	0.808	Wall Pack Fixture

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 Phone: 231-946-9310
 www.mansfield.com
 info@mansfield.com

Mansfield

— or —

Land Use Consultants

REV#	DATE	BY	CHK	DESCRIPTION
08	01.29.19	dmc	mmn	Plan Revisions
09	04.23.19	dmc	mmn	Updated Grading and Storm
10	05.27.19	dmc	mmn	Permitting Updates
11	07.03.19	dmc	mmn	Permitting Updates
12	08.09.19	dmc	mmn	Health Department Permitting Updates
13	08.30.19	dmc	mmn	Health Department Permitting Updates
14	07.23.20	dmc	mmn	Ag. Commercial Enterprise SIF Submission
15	04.24.23	dmc	mmn	Updated Site Plan Review/SIF Submission

Farm Club
 Farm Club
SITE LIGHTING EXHIBIT
 Section 18, Town 28 North, Range 11 West
 Elmwood Township, Leelanau County, Michigan

PRELIMINARY

DATE: 07/17/23
 BY: dmc
 CHECKED: mmn

17113

1 OF 1

I:\land\projects\2017\1713 - 2000\dwg\plan\1713_sif.sxd.dwg (3/18/23) (dmc) - Apr 28, 2023 11:33am - Donly

previous approval
for reference

Field La Femme

Submitted to

Elmwood Township

as an **Agricultural Commercial Enterprise,**
a **Permitted Use** in the
Agricultural-Rural (A-R) Zoning District

June 22, 2018

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Site Plan Set
Preliminary Architectural Plans

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Regulatory Agency Review (Forthcoming)

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Project Team

Mansfield
CR
Land Use Consultants

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Traverse City, MI 49684
p 231.946.9310
f 231.946.8926
i www.manepe.com

Property Owner:

Gary and Allison Jonas
18700 Mission Road
Traverse City, MI 49686

Applicant:

Gary and Allison Jonas
18700 Mission Road
Traverse City, MI 49686
Phone: 231-943-1116
Email: gjonas@gmail.com

Farming Partners:

Nic and Sara Theisen
Loma Farm
PO Box 405
Traverse City, Michigan 49685
Phone: 970-217-5904
lomafarm@gmail.com

Planning and Engineering Consultant:

Mansfield Land Use Consultants
830 Cottageview Drive, Suite 201
PO Box 4015
Traverse City, MI 49685
Phone: (231) 946-9310
Email: dusty@maaeps.com

June 11, 2018

Elmwood Township Planning Commission
10090 E. Lincoln Road
Traverse City, MI 49684

Dear Planning Commissioners,

On behalf of property owners Gary and Allison Jonas, Mansfield Land Use Consultants is pleased to present the following information related to the Site Plan Review Application for the proposed Field La Femme Agricultural Commercial Enterprise located on the property at 10103 S. Lake Leelanau Drive.

The project property is located in the central portion of Elmwood Township on County Road 641 (Lake Leelanau Drive), at the northeast corner of the Leelanau Trail's southern crossing of C.R. 641, and is roughly 40 acres in size. The property owners are in the process of building their home on the property and are seeking site plan review for a proposed agricultural commercial enterprise, which is a permitted use in the Agricultural-Rural Zoning District.

The information provided on the following pages provides details related to the existing conditions of the property, the uses proposed, and how the proposed uses comply with the standards and regulations of the Ordinance. Thank you for your time and consideration of this material and the Application.

Sincerely,



Dusty Christensen, LLA
Mansfield Land Use Consultants

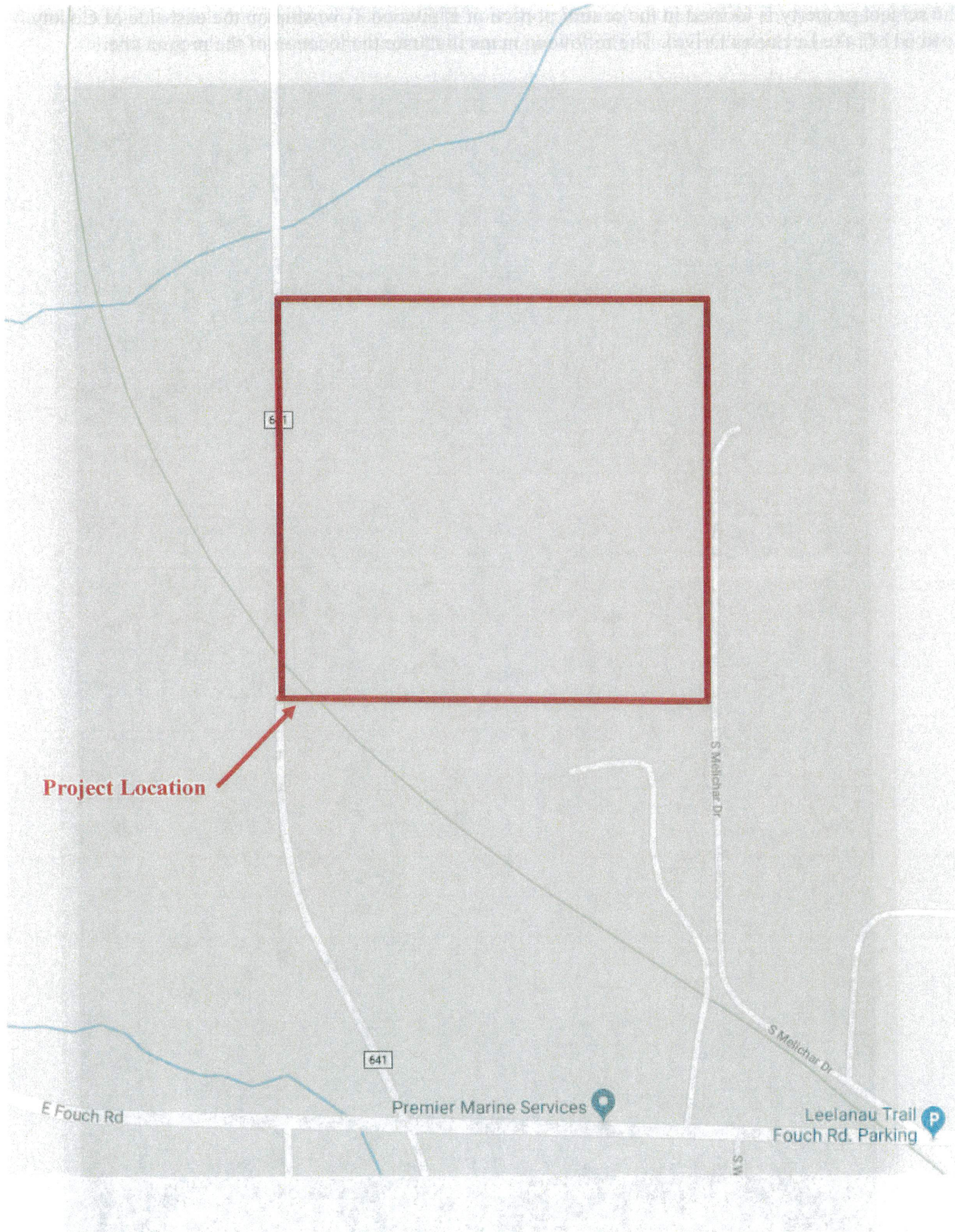
Project Location

Mansfield
Land Use Consultants

830 Cottageview Drive
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p 231.946.9310
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i www.manepls.com

The subject property is located in the central portion of Elmwood Township on the east side of County Road 641 (Lake Leelanau Drive). The following maps illustrate the location of the project site.





Aerial Photo

Mansfield
Land Use Consultants

830 Cottageview Drive
Traverse City, MI 49684
p 231.946.9310
f 231.946.8926
i www.maeps.com

The most current available aerial photo shows the project site in its current condition, minus the house under construction, and adjacent properties.



USDA Soils Map

The site primarily consists of sandy soils, as shown on the USDA Soils Map below.



Soils Map Legend

LEELANAU COUNTY SOILS MAP LEGEND (M1089)	
Map Unit Symbol	Map Unit Name
Arb	Alcona-Richter sandy loams, 2 to 6% slopes
AuA	Au Gres-Kalkaska sands, 1 to 4% slopes
EnB	Emmet-Leelanau complex, 2 to 6% slopes
EnC	Emmet-Leelanau complex, 6 to 12 % slopes
EnD	Emmet-Leelanau complex, 12 to 18 % slopes
EnE	Emmet-Leelanau complex, 18 to 25 % slopes
EnF	Emmet-Leelanau complex, 25 to 50 % slopes
KaB	Kaleva sand, 0 to 6% slopes
KaC	Kaleva sand, 6 to 12% slopes
KaD	Kaleva sand, 12 to 18% slopes
KaE	Kaleva sand, 18 to 35% slopes
Lm	Lupton-Markey mucks
NsF	Nester silt loam, 25 to 50% slopes

Proposal Regulations Summary

Property Data:

Address: 10103 S. Lake Leelanau Drive
Property I.D. Number: 45-004-018-004-00
Owner: Gary and Allison Jonas
18700 Mission Road
Traverse City, MI 49686

Underlying Zoning:

Agricultural-Rural – A-R

Site Acreage Computation:

Parcel 45-004-018-004-00: 40.55 Acres
Total Gross Acreage: 40.55 Acres
Total Net Acreage (less road and trail ROW's) 39.06 Acres

Legal Description:

NE 1/4 OF NW FRL 1/4 SEC 18 T28N R11W

Proposed Land Use:

Agricultural Commercial Enterprise, a use by right in the A-R Zoning District.

The proposed Field La Femme Agricultural Commercial Enterprise is intended to provide an immersive agricultural experience to visitors and provide them with a better understanding and appreciation of farming, food production, and processing. The proposed development will offer opportunities for patrons to closely observe and interact with the surrounding farm, provide educational opportunities and the ability to host demonstrations and talks, and serve food, beer, and cider made from ingredients grown on the site. Field La Femme will be a fully functioning small-scale farm that not only grows food for sale on site and use in the kitchen but serves as an example for visitors to see how similar farms in the region operate on a day-to-day basis. Loma Farm, a nearby Elmwood Township farm, is a project partner and providing support for Field La Femme in the form of knowledge and experience applied to the planning, planting, and ongoing care of the future farm.

Definition of Agricultural Commercial Enterprise in the Elmwood Township Zoning Ordinance:

“Uses dependent upon on site agricultural operation, such as: community-supported agriculture, “u-pick or pick-your-own operation, farm market, nursery, agri-tourism, winery, brewery, distillery, interpretive farm, beekeeping/honey production, maple syrup production, greenhouse, commercial hunting grounds, agricultural processing, riding stables, sales of agricultural related products, farm vacations, crafts, and similar uses.” (Emphasis added to highlight proposed uses in the Field La Femme project.)

Schedule of Regulations:	Per Zoning	Proposed/Existing
Minimum Lot Size	6,250 S.F.	Approximately 40 Acres
Minimum Lot Width	100'	1,332'
Front Yard Setback	50'	50'
Side Yard Setback	10'	10'
Rear Yard Setback	25'	25'
Water's Edge Setback	30'	N/A
Max. Building Height	35'	35'
Impervious Surface Coverage	None	2.16%

Parking:

Required: 26 (1 per 100 s.f. of public floor area. 2,600 s.f. of public floor area provided)
 Provided: 36

36 parking spaces are proposed, satisfying the requirement for 1 parking space "...for each 100 square feet of retail floor area open to the public." In order to maintain a more rural, farm-like setting, it is proposed that the parking lot be constructed of gravel, crushed stone, or limestone. Section 6.1.2H of the Zoning Ordinance dictates maximum parking constraints and also gives the Planning Commission the ability to allow for more parking, should there be a need. According to the Ordinance the maximum parking space quantity for this project would be 33 parking spaces (125% of the required number of spaces). It is requested that the Planning Commission authorize the 36 parking spaces proposed due to the fact that it is anticipated that there will be additional demand for parking on the site during busy seasons and times of day and that there is additional outdoor space open to the public that the Ordinance does not require parking to be provided for.

Project Narrative

Existing Conditions and Exhibits

The following descriptions illustrate the existing conditions on the subject property at 10103 S. Lake Leelanau Drive in Elmwood Township. The entire west property line is bordered by S. Lake Leelanau Drive (C.R. 641) as shown on the attached plan set, and the Leelanau trail crosses the southwest corner of the property. Additional site data and information related to the standards and regulations of the Elmwood Township Zoning Ordinance (Ordinance) can be found in later portions of this submission.

Structures and Vehicular Circulation

The only structure that exists on site is the house that is currently under construction on the east side of the property. There is an existing gravel driveway from C.R. 641 that runs across the property to the home location.

Uses

The site is currently being used as the construction site for the owners' home. Historically, large portions of the site were used for farming.

Vegetation

There are a variety of vegetation characteristics across the property ranging from open fields to fully wooded areas. The northwest corner of the site is a plateau that has historically been farmed. Currently, this area is an open field. There is a wooded area that runs, roughly, from the northeast corner of the site to the southwest corner. This area contains a mix of deciduous and evergreen trees and the southwest corner of the site contains some wooded wetland area. The east side of the site and southeast corner of the site contain a mix of open fields and scattered stands of trees. These areas were likely farmed in the past as well.

Topography

The project site is sloping, generally from northeast to southwest, with a raised plateau in the northwest corner of the property. Slopes get steeper towards the east side and northeast corner of the site and the slopes on the northwest plateau are relatively gentle.

Water Courses/Bodies

There are no water courses or water bodies present on or adjacent to the subject site.

Proposed Use and Impacts

As required by Section 8.4 – Requirements for Site Plan Approval of the Elmwood Township Zoning Ordinance, the following is a description of the proposed use for the subject site and the potential impacts that those uses may have on existing infrastructure within the Township. Additional project data can be found later in this submission.

Proposed Uses

It is proposed that the subject property be utilized for an Agricultural Commercial Enterprise that offers visitors a unique, Leelanau County, small farm experience. The property owners are currently constructing their home on the east side of the property and intend to plant as much of the property as possible with a wide variety of crops and adjunct ingredients to be used in the production of food products to be sold, in meals prepared in the on-site kitchen, and for the brewing of beer and cider. The property owners have partnered with Loma Farm, a small-scale Elmwood Township vegetable and flower farm located just down the street on Birch Point Road. Loma Farm's partnership in the Field La Femme project lends years of expertise and knowledge to the initial farm planning through to the planting, care of, harvesting, and processing of the crops.

As shown on the project's site plans, there are a wide variety of food crops and adjunct ingredients planned for the site. The plateau in the northwest corner of the site is roughly 5 acres in size and is where the main Field La Femme building, along with associated accessory buildings, parking lot, driveway, and outdoor crushed stone patio area, is located. The northwest plateau area will also contain plantings of hops and fruit trees along with numerous garden areas that will rotate annual vegetables, greens, and herbs. Perennial fruit and vegetable crops will be located to the immediate east of the plateau.

The main 5,000 square foot Field La Femme building will include a flexible market/dining space where visitors can purchase produce, flowers, food products, and other agricultural products and also get a snack or meal prepared in the adjacent kitchen. A smaller tasting room in the building will provide a separate for visitors to taste the beer and cider produced on site. The remainder of the building will be allocated to bathrooms, food processing and brewing area, and necessary mechanical spaces and corridors. A 20' x 30' green house is planned adjacent to the outdoor patio area to serve as an enclosed space that can be used for additional farm retail space, educational presentations, dining seating, or food production. The outdoor patio area links the interior spaces with the surrounding gardens and will be used for additional outdoor seating, dining, and gathering space. The patio space opens up onto an open area and path that leads into the planted garden areas.

The close physical and visual proximity of the public spaces and farm areas is vital to the Field La Femme concept, where the intent is for visitors to have the ability to closely observe the workings of the farm, gain a better understanding of how our food is grown, learn about food and farming, and interact with a working farm. Visitors will be able to enjoy walking through the garden areas and will seasonally have the ability to pick their own fruit and vegetables. Planting beds integrated into the patio space provide an additional connection between the seating area and the farm while providing an ideal space for educational displays, demonstration gardens, and educational presentations and workshops.

Bees will be kept on site for pollination and will be located on a hill in the northeast corner of the site, where their hives will be visible to entering visitors and from the patio area. Forthcoming phases of the project include expanding the agricultural production to other suitable portions of the site, including a cider apple orchard, and additional annual and perennial field crops in the southeast corner of the site. By utilizing crop storage methods and the proposed on-site greenhouses, Field La Femme will be able to utilize and sell ingredients grown on site throughout the year. Root vegetables and other crops store well and can be provided through an entire winter easily.

Access and Circulation

Vehicular access to the proposed development will occur off of South Lake Leelanau Drive (C.R. 641), which is maintained by the County Road Commission in a manner that allows for safe access to the subject property and easily accommodates any potential increase in traffic. The drive will wind its way east up the hill to the parking area adjacent to the primary Field La Femme building. The driveway approach on C.R. 641 will comply with all necessary Leelanau County Road Commission standards and regulations in order to maintain safe driving conditions for future patrons and drivers on the County road. An additional bicycle and pedestrian connection is proposed from the Leelanau Trail, across the property and directly to the patio space at the main building. Proposed plans have been submitted to the Leelanau County Road Commission and any comments will be provided upon receipt.

Utilities

The proposed development will be served by private well and septic. These utilities will comply with all of the applicable standards of the Leelanau County Health Department, which has been provided with proposed plans to review and comment on. Process water and spent grains from the brewing process will not be going into the septic system, as a surface application system for these byproducts is being pursued with the DEQ. Surface application is beneficial as it irrigates the on-site crops and spreads out infiltration of process water so that concentrated infiltration locations don't damage soils.

Hazardous Material Storage

There is no proposed storage of hazardous materials or chemicals on the site.

Schools

The proposed use has no impact on the local school systems.

Storm Water Control

The proposed storm water control system will comply with all standards and regulations of the Leelanau County Drain Commissioner's office. The proposed system consists of surface drainage to storm water infiltration basins that will hold the required amount of storm water from the hard surfaces on the site and allow it to infiltrate. Storm water from the roof of the main Field La Femme building will be captured and stored in aboveground "silo" cisterns and be used for irrigation.

Natural Environment

The proposed use will have no adverse impact on the natural environment, wetlands, or bodies of water. The proposed buildings, storm water control system, utilities, and other site features will be approved and permitted by the appropriate regulatory agencies and meet the standards set by those agencies to protect the natural environment and water bodies. Great care has been taken in the design of the proposed utilities, driveway, and storm water system so that the existing natural features on the site are protected. Storm water from the hard surfaces will be collected in storm water infiltration basins. Erosion control measures that comply with the Leelanau County Conservation District's standards will be implemented to prevent sediment from reaching the on-site wetlands during construction. Containing the bulk of the development on the plateau in the northwest corner of the property allows for the site's natural features including sloping terrain, wooded areas, and wetlands to be better maintained and protected through the construction process and into the future.

Signage

A development sign is proposed near the intersection of the driveway and C.R. 641 and a wall sign is proposed on the façade of the main building. The proposed signs will comply with all applicable standards of the Ordinance and an Elmwood Township Sign Permit will be applied for and obtained prior to any sign being constructed.

Response to the Standards of Approval from the Township Ordinance

Site Plan Review Requirements (Section 8.4)

The site plans submitted address all provisions of Section 8.4 of the Ordinance and are sufficiently detailed for consideration by the Planning Commission. Statements, written narratives, and other information required by Section 8.4 are contained within the Proposal Regulations Summary, Project Narrative, and other portions of this submission. Please see the Proposed Use and Impacts portion of the Project Narrative of this submission for the statement required by Item 8.4.9.

Standards for Site Plan Approval (Section 8.5.B)

The following provides information related to each standard in Section 8.5.B of the Ordinance. Ordinance language is shown in **bold text** and responses are shown in plain text.

The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article.

All required information has been provided. Please refer to the complete application submission for additional information.

2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval.

Comments from relevant outside permitting agencies will be provided. It is intended that the project comply with all applicable standards of the Township, County, State, and any other regulatory agency and that all necessary permits be obtained prior to construction.

3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.

Adequate essential facilities and services exist for the proposed project. The proposed development provides vehicular access on to County Road 641, which is maintained by the County Road Commission in a manner that allows for safe access to the subject property and easily accommodates any potential increase in traffic. The proposed plans will be reviewed by the Township Fire Department to ensure that the proposed plans comply with all applicable requirements. Proposed plans have been submitted to the relevant regulatory agencies and comments from these agencies will be provided upon receipt.

4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Benzie-Leelanau District Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met.

Proposed plans have been submitted to the relevant agencies and comments from these agencies will be provided upon receipt. All proposed uses, construction, and activities on the site will comply with the standards of the relevant permitting agencies and permits will be obtained prior to construction.

5. Compliance with all ordinances and standards adopted by the Township.

The proposed project complies with the Ordinances and standards of the Township. The project submission provides details related to specific standards and how they are being met.

6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.

The proposed Agricultural Commercial Enterprise buildings and structures will be designed, constructed, operated and maintained so as to be harmonious and compatible with the existing and intended character of the general vicinity. The buildings will have an agricultural feel to their design, which is compatible with the surrounding rural character as well as the intent of the A-R zoning district.

7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.

The design and location of the proposed lots will be harmonious with the surrounding properties and neighborhoods. The most intense proposed development of the site is taking place in a relatively small area that is currently open field. Proposed structures have been kept far from property lines and will be buffered from the road and northern adjacent property by proposed fruit tree orchards and a proposed line of evergreen trees. Existing vegetation along all other property lines will be maintained to provide a buffer between the existing uses on neighboring properties and the proposed development.

8. All buildings and structures are accessible to emergency vehicles.

The standards of the Township Fire Department for emergency vehicle access have been taken into account in the proposed design. Proposed plans have been submitted to the Township Fire Department for review and it is the intent of the applicants to fully comply with the safety standards set forth by the Fire Department.

9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.

The proposed private road intersects with County Road 641 in a location that meets the safety standards of the County Road Commission and site plans have been submitted to the Road Commission for their review and comment. Non-motorized traffic within the development is provided on a walking/bicycle path that connects the primary Field La Femme building to the Leelanau Trail.

10. The percentage of impervious surface has been limited on the site to the extent practicable.

The percentage of impervious surface on the site has been greatly limited through the proposed design's limited footprint on the site. The proposed plans call for 0.84 acres of impervious surfaces on the site, which is 2.16% of the site's net area.

11. Efforts have been made to protect the natural environment to the greatest extent possible.

The proposed use will have no adverse impact on the natural environment, wetlands, or bodies of water. The proposed homes, storm water control system, utilities, and other site features will be approved and permitted by the appropriate regulatory agencies and meet the standards set by those agencies to protect the natural environment and water bodies. Great care has been taken in the design of the proposed utilities, road, and storm water system so that the existing natural features on the site are protected. Storm water will be collected in storm water infiltration basins or be stored for future irrigation. Erosion control measures that comply with the Leelanau County Conservation District's standards will be implemented to prevent sediment from reaching the on-site wetlands during construction. A pre-application meeting with the DEQ has been held to discuss the proposed bicycle path connection to the Leelanau Trail across a wetland area. The DEQ recommended the use of a boardwalk for this portion of the path, as is shown on the proposed plans.

12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.

The proposed project will implement storm water control methods that meet the standards of the Leelanau County Drain Commission, the agency that regulates storm water control within the Township. Storm water from the proposed roofs of structures will be retained within stone drains surrounding the buildings, and allowed to infiltrate, or within above-ground irrigation cisterns. Storm water from the proposed driveway and parking area will be routed to infiltration basins. Proposed plans have been submitted to the County Drain Commission and comments will be provided upon receipt.

13. The proposal furthers the goals and objectives of the Master Plan.

The proposed project furthers the goals of the Township Master Plan in a number of ways by providing growth and development in a manner that respects the natural environment and the Township's rural atmosphere. Additionally, the proposed development preserves viable agricultural property within the Township, which is heavily supported throughout the Master Plan.

Response to Special Requirements from the Township Ordinance

Special Requirements for Specific Uses (Section 5.5)

The following provides information related to each standard in Section 5.5.A of the Ordinance. Ordinance language is shown in **bold text** and responses are shown in plain text.

SECTION 5.5 SPECIAL REQUIREMENTS FOR SPECIFIC USES

In addition, to other applicable requirements, as contained in this Ordinance, the following specific land uses shall also comply with the following:

A. Agricultural Commercial Enterprises

1. The purpose is to promote agricultural commerce, to conserve valuable farmland, and to protect public safety.

2. Requirements.

a. The use must be associated with an agricultural operation.

The proposed Field La Femme Agricultural Commercial Enterprise is intended to provide an immersive agricultural experience to visitors and provide them with a better understanding and appreciation of farming, food production, and processing. The proposed development will offer opportunities for patrons to closely observe and interact with the surrounding farm, provide educational opportunities and the ability to host demonstrations and talks, and serve food, beer, and cider made from ingredients grown on the site. Field La Femme will be a fully functioning small-scale farm that not only grows food for sale on site and use in the kitchen but serves as an example for visitors to see how similar farms in the region operate on a day-to-day basis. Loma Farm, a nearby Elmwood Township farm, is providing support for Field La Femme in the form of knowledge and experience applied to the planning, planting, and ongoing care of the future farm.

b. Landscaping. There shall not be any mandatory landscaping requirements for commercial agricultural enterprises.

Noted.

c. Lighting. Greenhouse and other grow lights internal to agricultural enterprises are exempt from the lighting requirements of this Section. For all other lighting requirements, see Section 6.5, Lighting.

Noted.

d. Accessory Uses. The following are allowed as accessory uses to agricultural commercial enterprises:

1. Petting zoos, animal attractions, and playgrounds.

None proposed.

2. Children's games and activities.

Children's games and activities are certainly a use that could occur at Field La Femme.

3. Crop mazes and pumpkin patches.

No crop mazes are proposed, but a portion of the farm could at some point be used as a pumpkin patch that could allow visitors to pick their own pumpkins.

4. Holiday-oriented activities.

Holiday-oriented activities could certainly take place at Field La Femme.

5. Food service, if conducted, shall be in accordance with Health Department requirements.

Food service is a proposed use in the project and will comply with all applicable requirements of the Health Department.

e. Sales of the following are prohibited:

1. Fuel or related products.

None proposed.

2. Tobacco products.

None proposed.

3. Lottery tickets.

None proposed.

4. Vehicles or related products.

None proposed.

5. Alcoholic beverages, unless the operation is part of a State of Michigan licensed on-site crop production and/or processing.

Beer and cider will be produced and sold on site. The Field La Femme facility will be licensed by the State of Michigan and the licensing process with the MLCC has already been started by the property owners.

6. New & Used household goods.

None proposed.

f. Farm Markets.

The main Field La Femme building incorporates a flexible space that can be used for dining and the sale of produce and farm products. The market area will comply with all applicable regulations.

Regulatory Agency Review

Copies of the relevant Field La Femme development plans and information have been submitted to the following regulatory agencies for their review and comments and/or approval:

- Leelanau County Road Commission
- Leelanau County Conservation District (Soil Erosion and Sedimentation Control)
- Leelanau County Drain Commissioner (Storm Water)
- Benzie-Leelanau Health Department (Well and Septic)
- Elmwood Township Fire Department

Comments from the regulatory agencies listed above will be provided upon receipt.

Notes on Project Architecture

The architectural drawings for the proposed Field La Femme project are preliminary in nature and are intended to illustrate the size and height of the building, as required by the Ordinance for the Site Plan Review process. As the project moves forward, the property owners will be working with their architect to better develop the character of the proposed structure. The final design of the building will include additional doors and windows, particularly on the facades adjacent to public use areas. The intent is to also incorporate building materials that prevent the structure from looking like a simple pole building. The following images have been used as inspiration for the final building design during the planning and design process and are reflective of the desired character of the proposed building. Obviously, many things, including building and fire codes, must be accounted for when designing a building, so things like door placement, material selection, etc. will be determined as the design process progresses.

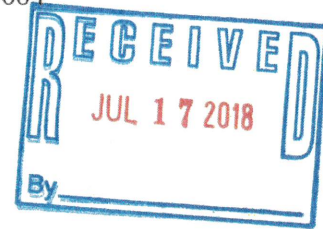


ELMWOOD TOWNSHIP FIRE AND RESCUE DEPARTMENT

10090 EAST LINCOLN ROAD, TRAVERSE CITY, MI 49684

PHONE: (231) 941-1647 / FAX: (231) 941-9927

Office of Fire Chief



July 16, 2018

To: Sara Kopriva, Elmwood Township Planning and Zoning Administrator

Re: Field La Femme – 10103 S. Lake Leelanau Drive (641) / Parcel #: 45-004-028-094-10

As Fire Chief of the Charter Township of Elmwood, I have been tasked with providing a review of the site plan for the Field La Femme development. The development is for an agricultural/commercial facility with gardens and orchards. The site is located just north of Fouch Road and the T.A.R.T. trail on the east side of S. Lake Leelanau Drive. My review applies solely to requirements and features allowing for a safe and efficient emergency response in consideration of life safety, incident stabilization, and property conservation.

STRUCTURES AND EXPOSURES

The reviewed plans indicate the future construction of a 5000 sq./ft. agricultural/commercial building, two (2) smaller storage barns (1200 sq./ft. each), and a smaller greenhouse (600 sq./ft.). Fruit and vegetable gardens are shown throughout the property along with the future planting of fruit trees and hops. A parking lot stretches along the west side of the main building with a drive bordering the north end. A bike trail, walkways and patio sit to the east of the main building with the gardens and greenhouse to the south. Both storage barns are set on the other side of the west lot, away from the main building.

The main building (5000 sq./ft.) is illustrated as having a kitchen, dining room/market area, a tasting room, and a processing/brewing area. The structure is less than 35 feet tall (approx. 23' 6") and the construction type is not indicated. An annotation on an elevation sheet indicates a concrete slab floor and possible truss roof construction.

No floor plans or elevations were provided for the two storage barns or greenhouse. The two (2) storage barns will serve as exposures to each other, but only the greenhouse appears to be an exposure to the large main building. *(Note – for fire suppression operations, an exposure is any structure greater than 100 sq./ft. within 50 feet of another.)*

Absent any significant hazard, it can be implied that the fire loading and operational needs of the large building will cover the suppression needs of the smaller structures.

No off-site structures are shown on the presented plans that may constitute a fire or hazardous exposure.

LIFE SAFETY AND HAZARD CONSIDERATIONS

Life safety and hazards are assumed to be those found within an agricultural/commercial facility, with the kitchen and dining room posing their own questions regarding egress and suppression needs. These questions and others should be addressed through the construction code office during the building process. Of greatest concern at this time, is the use and storage of chemicals on site. Chemicals may consist of pesticides, fertilizers, refrigerants, fuels (including propane), etc. These chemicals are subject to state and federal laws and may require reporting to specific agencies, including the fire department.

The reviewed plan is **acceptable** but **may** impose an unusual burden to fire department operations regarding life safety and hazard mitigation. This will be based on the chemical inventory and commercial processes being carried out.

FIRE APPARATUS ACCESS AND MOVEMENT

The property and structures are accessed from a single drive entering off S. Lake Leelanau Drive (641). The drive stretches to the east for approximately 350 feet where it enters a series of parking lots at the northwest corner of the main structure. This drive, and its pathway through the west side parking lot and the loading area to the north, provides adequate access to all the structures and is being considered the fire apparatus access lane.

All road radiuses and grades within the development are acceptable as presented.

Aerial Fire Apparatus Access

The plans provided do not indicate any structure requiring aerial fire apparatus.

Dead Ends and Turn Arouns

The fire apparatus access lane exceeds 150 feet and therefore a space for turning fire apparatus around is required. An acceptable turn-around space is provided using a combination of the north loading area, dumpster pad, and west parking lot (if needed.)

The proposed plan **meets** the department’s need for fire apparatus access and movement.

FIRE SUPPRESSION AND WATER SUPPLY

The lack of a municipal hydrant system or private well capable of meeting fire suppression and rescue needs required the consideration of an alternative water supply. Calculations conducted in accordance with the National Fire Protection Association’s (NFPA) Standard 1142, Standard on Water Supplies for Suburban and Rural Fire Fighting indicate a minimum water supply need of approximately 18750 gallons with a delivery rate of 750gpm.

The minimum water supply and fire flow deliver rate **cannot** be met by standard fire department operations within the first and second alarm assignments.

Requirements are listed below that considered:

- Water carried on responding fire apparatus
- Water tanker delivery rates using the nearest year-round water point
- Time, distance, and availability of other firefighting resources.

REQUIREMENT(S)

- Install a water tank or impound that can supply a minimum of 10,000 gallons year-round, and/or
- Install a well that can deliver a minimum of 250gpm at no less than 20psi year-round, and/or
- Install an automatic fire suppression system in the main building.

Implementation of any or a combination of these requirements should be reviewed by the Fire Chief prior to implementation. All options require coordination with EFD for compliance with the style, type, and location of fittings and compliance with EFD operational standards.

The reviewed plan currently **does not meet** the department requirements for fire suppression and water supply without the implementation of one or more of the above requirements.

OTHER REQUIREMENTS / CONSIDERATIONS

None at this time.

SUMMARY

The details presented above are an integral part of this review and are based primarily on the below referenced documents. My review found the site plan **acceptable** for emergency vehicle access and general fireground operations but **not acceptable** regarding water supply for fire suppression operations. Included in the narrative above are requirements and/or recommendations needed for compliance with standards on fire protection and response. Some of those requirements are subject to the building code and may be addressed during the appropriate phase of construction, and require additional review, field inspection, or the submittal of certifying documents to the appropriate authority. Any changes not addressed above should be reviewed by the fire chief.

Documents used in this review:

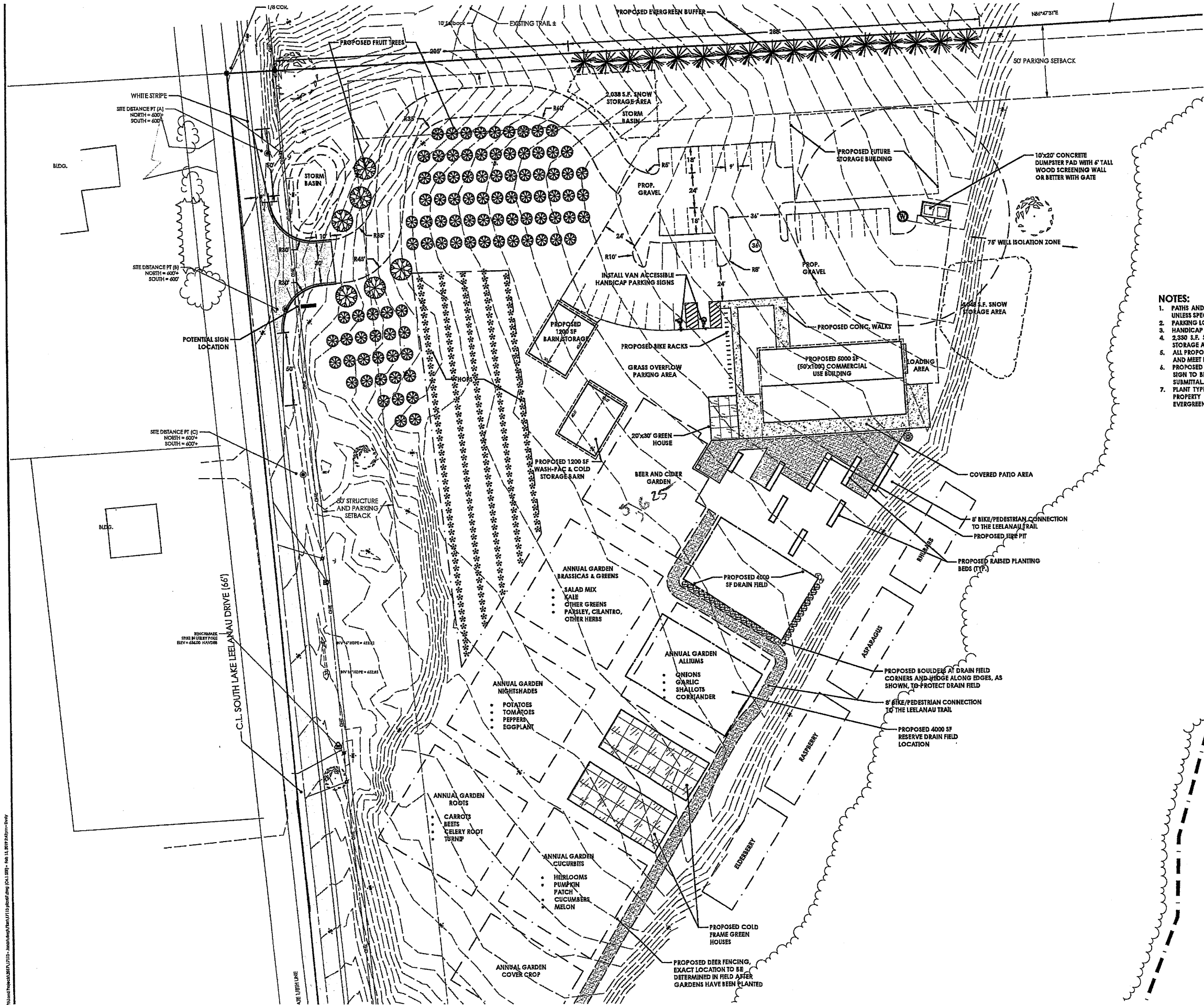
- Field La Femme – Preliminary Site Plans – Mansfield Land Use Consultants (MLUC), Job# 17113, Date: 06/12/2017, Rev Date: 06/11/2018 Twp Site Plan Review Submittal
 - Cover Sheet, Sheet C1.0
 - Note Sheet, Sheet C1.1
 - Existing Conditions & Demolition Plan, Sheet C2.0
 - S.E.S.C. Site Plan, Sheet C3.0
 - Site Plan - Overall, Sheet C4.0
 - Site and Dimension Plan, Sheet C4.1
 - Grading & Storm Plan, Sheet C5.0
- Gary & Allison Jonas – Proposed Home Site – Mansfield Land Use Consultants (MLUC), Job# 17113, Date: 06/12/2018, Rev Date: 06/12/2017 Original design
 - Conceptual Floor Plan, Sheet A2.0
 - Proposed Elevations, Sheet A2.1
- International Fire Code, 2012 Edition.
- NFPA 1142 Standard on Water Supplies for Suburban and Rural Fire Fighting, 2007 Edition.

Please feel free to contact me by phone or email with any questions.

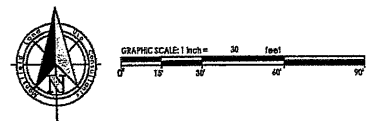
Sincerely,

Keith Tampa

Keith Tampa
Fire Chief
Elmwood Township Fire and Rescue Department



- NOTES:**
1. PATHS AND OUT DOOR PATIO AREA ARE TO BE LIMESTONE OR PEA GRAVEL UNLESS SPECIFIED OTHERWISE BY OWNER.
 2. PARKING LOT AND DRIVE ARE TO BE LIMESTONE OR GRAVEL.
 3. HANDICAP PARKING AREA TO BE CONCRETE.
 4. 2,330 S.F. SNOW REMOVAL/STORAGE AREA REQUIRED. 6,086 S.F.+ SNOW STORAGE AREA PROVIDED.
 5. ALL PROPOSED LIGHTING TO BE BUILDING MOUNTED AND TO BE FULL CUT OFF AND MEET DARK SKY REQUIREMENTS.
 6. PROPOSED DEVELOPMENT SIGN TO COMPLY WITH ALL TOWNSHIP STANDARDS. SIGN TO BE PERMITTED AT LATER DATE AND SEPARATE FROM THIS SITE PLAN SUBMITTAL.
 7. PLANT TYPE AND SIZE FOR PROPOSED EVERGREEN BUFFER ALONG NORTH PROPERTY LINE SHALL MEET ALL TOWNSHIP STANDARDS. LENGTH OF EVERGREEN BUFFER TO BE 288' LONG AND SITED AS SHOWN.



830 Cottageview Dr. Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.manaps.com
 info@manaps.com

Mansfield

Land Use Consultants

DATE	DESCRIPTION
01/15/17	Site Plan
02/28/17	Site Plan
03/08/17	Site Plan
03/13/17	Site Plan
04/11/17	Site Plan
04/18/17	Site Plan
04/25/17	Site Plan
05/02/17	Site Plan
05/09/17	Site Plan

Gary & Allison Jones
 Field La Femme
SITE AND DIMENSION PLAN
 Section 18, Town 28 North, Range 11 West
 Elmwood Township, Leelanau County, Michigan

PRELIMINARY

DATE: 17.04.12

17113

C4.1

Manaps Project: 17113 - 17113.dwg (17.04.12) - 17.04.12 11:59:59 AM - Gary

To: Elmwood Planning Commission

From: Sarah Clarren, Planner/Zoning Administrator

Date: September 20, 2022

RE: Capital Improvement Plan (CIP)

The Michigan Planning Enabling Act requires the Planning Commission to draft a Capital Improvement Plan (CIP) for the Township Board. Included in the CIP are any projects, structures, equipment, or expenditures that are over \$10,000 and will last for more than a year. Below is the process for approval.

1. Department Heads submit projects for the next 6-7 years
2. List of Projects is compiled
3. Planning Commission reviews the projects and determines compliance with the Master Plan or other appropriate plan. The Planning Commission may call upon officials to explain project as needed
4. Planning Commission hold Public Hearing on draft CIP
5. Planning Commission makes recommendation to the Township Board
6. Township Board reviews and adopted. Township Board may make changes as necessary

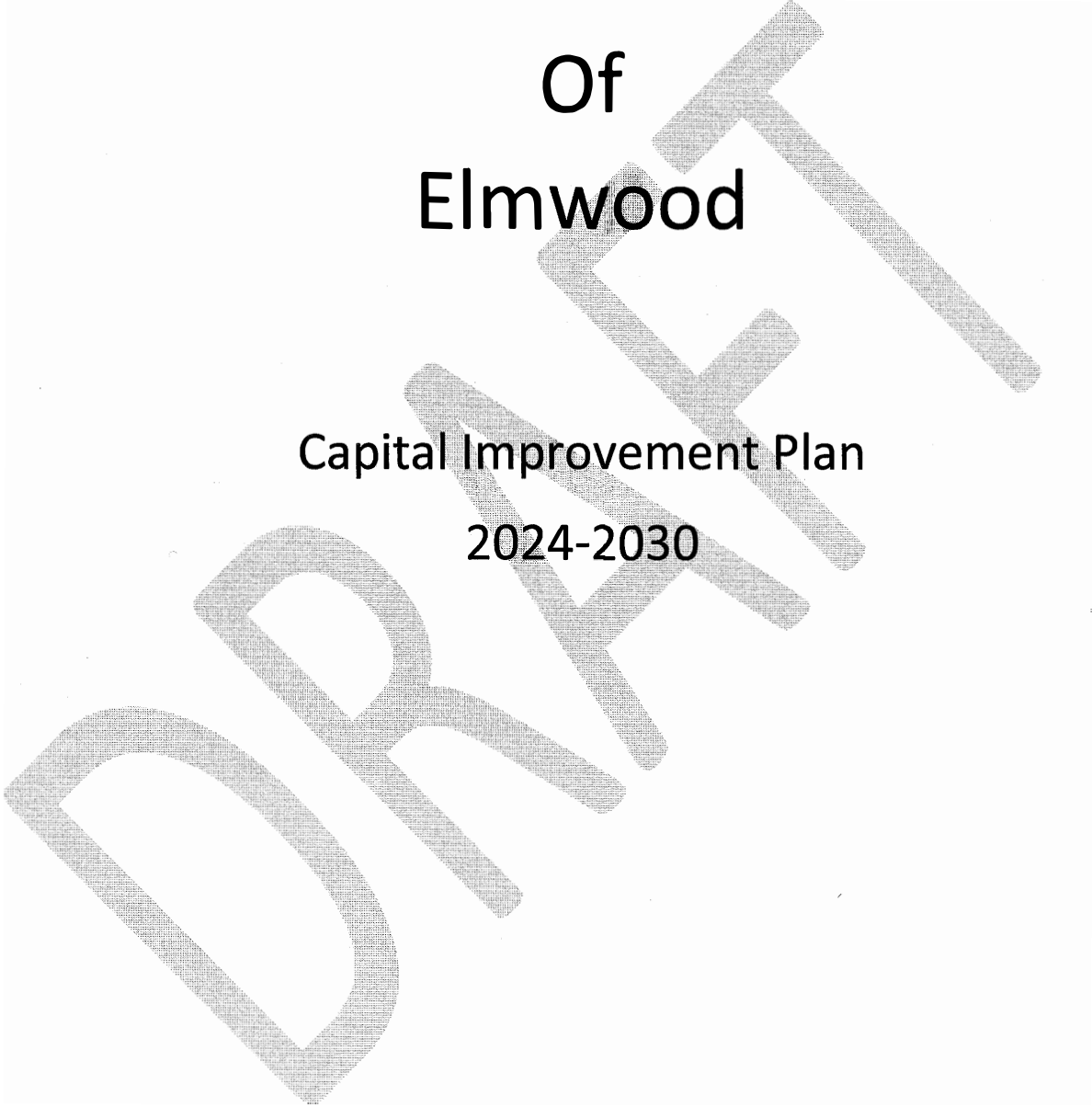
Attached is draft plan containing as compiled based on past CIPs and additional projects as submitted by Department Heads.

At this time, the Planning Commission should review the list of projects and determine if they are appropriate and comply with the Master Plan or other Plan of the Township. You can add projects or remove projects as you determine compliance. If you would like further explanation of a project, you can request that the appropriate person attend a meeting to explain.

IF you approve of the draft plan, or could approve with minor changes, the following motion may be used please make a motion to schedule a public hearing at the next regularly scheduled meeting.

Charter Township Of Elmwood

Capital Improvement Plan 2024-2030



Public Hearing: TBD

Adopted by Township Board:

TBD

The Michigan Planning Enabling Act, Public Act 33 of 2008, requires that any township that owns or operates a water supply or sewage disposal system, prepare and update a capital improvement program each year. Even when not required, it is good practice for townships to have a capital improvement program to help foresee upcoming projects and assist in budgeting. This is an update to the Capital Improvement Plan that the township undertook in an effort to comply with the requirements of the Michigan Planning Enabling Act.

This plan is a working document. It is required to be reviewed every year and updated to add the next year to make it a 6 year plan. Projects that are included in the plan are not guaranteed to be completed or to receive financial allocation by the Township Board but more of a guide during the budgeting process to help see a more complete view of upcoming major projects. The Planning Commission does not endorse the projects or figures supplied. They are only approving a document that puts all the projects in one location for easy reference.

The Capital Improvement Plan contains projects/construction/equipment with a purchase price greater than \$10,000 that last for longer than a year. These items include purchase of property and vehicles, new buildings/structures, constructions of utilities and roads, and dredging as examples. This also included major repairs to existing structures, properties, and vehicles such as roofs and parking lots. Minor maintenance and projects that are estimated to cost less than \$10,000 were not included. Plans and studies are also not included in this Capital Improvement Plan.

Department heads were asked about projects that they anticipate will need to be completed in the next 6 years as well as projects that will need to be done in future years so that they are not forgotten when the plan is updated in future years. Those forms led to this document that includes future projects, anticipated dates of completion, and estimated costs. Also included in this document is a list of existing facilities, where they are located, when they were constructed and any other helpful information. This ensures that when updating the plan in the future, certain properties and buildings are not looked over.

Upon completion of the draft, the Planning Commission held a public hearing on xx/xx/2023 to obtain additional public comment. Following the public hearing the Planning Commission made a recommendation on the plan and forwarded the completed plan to the Township Board for review and adoption.

Existing Facilities

Lincoln Road Campus

Township Hall

Located at 10090 E Lincoln Rd, the Township Hall was constructed in 1986. Contains offices and hall for meetings and available for rent.

Fire Hall

Located next to the Township Hall but not connected, was constructed in 2002. Contains offices, kitchen, meeting room, and apparatus bay.

Upper Pavilion

Located near the Township Hall and shares parking with the Hall. Picnic pavilions that contains restrooms. Available to rent to the public.

Lower Pavilion

Located near the corner of Cherry Bend and Avondale. Contains restrooms.

Soccer Fields

Located behind the Township Hall. Turf was re-done in 2015 and contains an irrigation system. Currently there is a contract with North Star Soccer to maintain and schedule the soccer fields.

Baseball Fields

Located near Cherry Bend Rd. Maintained by the Township and used by Little League. Available to the public for use when not in use by Little League.

Playground

Located near the corner of Cherry Bend and Avondale. Playground equipment has been installed throughout time.

Tennis Court

Located next to Avondale Ln. Surface sealed in Spring of 2016.

Cherry Bend Campus

Old Fire Hall

Located at 10750 E Cherry Bend Rd. Constructed in 1945. Contain garage bay and meeting room. Currently used for storage, elections, and maintenance equipment. Parking area contains recycling bins for use by County residents. Parking area constructed in 2014.

Greilickville Campus

Harbormaster Building

Located at the Marina, the harbormaster building was constructed in 2020 and contains the public office and bathrooms for the marina. Also includes storage garage for marina equipment. Old harbormaster building still exists on site and is anticipated to be removed during phase 3 of the marina redevelopment.

Old Marina Public Bathroom

Located next to the harbormaster building and scheduled for demolition during phase 3 of the marina redevelopment. This building is obsolete with the construction of the new harbormaster building.

Picnic Pavilion

Located next to the old marina public bathroom. Contains tables and grills. The roof for this structure was from an old pavilion at the Greilickville Harbor Park. This structure is scheduled to be replaced during phase 3 construction of the marina redevelopment.

Boater's Bathroom

Located next to the old marina public bathroom and for use by marina users. Includes showers and restrooms for men and women. This building is scheduled to be demolished and replaced during phase 3 of the marina redevelopment.

Large Pavilion

The large pavilion is located in the Greilickville Harbor Park, near the parking lot. It contains restrooms and a picnic pavilion. The pavilion is available to rent.

Small Pavilion

The small pavilion is located in the Greilickville Harbor Park. It contains restrooms and a picnic pavilion. This pavilion is available on a first come, first serve basis.

Brewery Creek

Brewery Creek is a condo development on M22 across from the Greilickville Harbor Park and Marina that the Township purchased in 2012. A majority of the property has been used for overflow marina and park parking. The Township worked with the owners to dissolve the condominium and is currently working on developing overflow marina trailer parking.

Greilickville Water

The Greilickville water system runs along M22 from the City/Township line North to Cherry Bend Road. The water system also runs down Carter Rd and Grandview Rd to the TART trail.

Timberlee Water

The Timberlee water system started as a private system in the 1970s and was turned over to the Township in 1989.

Greilickville Sewer

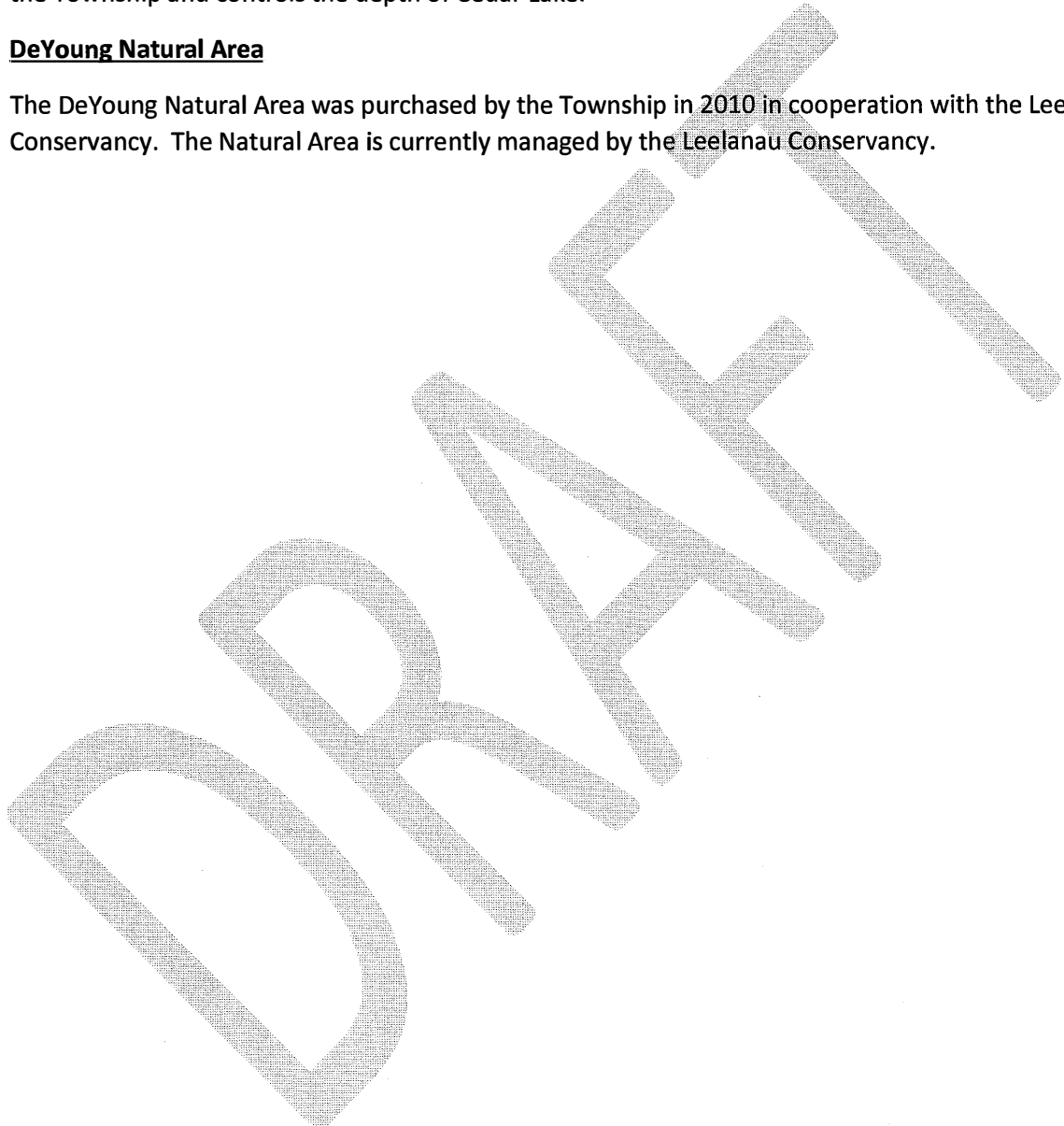
The Greilickville sewer system is located along M22 from the City/Township line running North to Crain Hill Rd. It also includes some subdivisions off of M22. The sewer system runs West down Carter Rd, Grandview Rd, and Cherry Bend Rd.

Cedar Lake Dam

The Cedar Lake Dam is located between Cedar Lake and West Grand Traverse Bay. The dam is owned by the Township and controls the depth of Cedar Lake.

DeYoung Natural Area

The DeYoung Natural Area was purchased by the Township in 2010 in cooperation with the Leelanau Conservancy. The Natural Area is currently managed by the Leelanau Conservancy.



Future Projects

Anticipated to be completed in 2024

<i>Project Name & Description</i>	<i>Estimated Cost</i>	<i>Contributing Fund</i>	<i>In Approved Plan</i>	<i>Status</i>
<u>B-Dock Rebuild Launch.</u> This is a fixed dock on a coffer dam and is unique to the rest of the marina docks that currently float. This dock has suffered quite a few hits from boats and needs to be rebuilt.	\$30,000 - \$40,000	Marina		
<u>Marina Phase 3.</u> Phase 3a: Removal of 3 existing buildings, vertical extension of existing seawall, additional seawall construction. Phase 3b: Boater's Bath Facility. Phase 3c: parking, landscaping, and amenities (street features, patios).	\$4,000,000- \$5,000,000	Marina / Waterways Grants	Marina Master Plan and Parks and Recreation Plan	Grant funds awarded through Waterways. Currently working with Engineers on cost saving measures.
<u>Marina Signage.</u> Signage on all marina operations including roadside, directional, office, parking limitation and instructional.	\$20,000	Marina		
<u>Fire Station Carpet/Flooring.</u> Replacement all carpet in station. Repair/replace tile flooring.	\$15,000	Fire	No	
<u>Timberlee Water Tank Replacement.</u> EGLE has flagged existing infrastructure and improvements are needed.	\$600,000			Twp is working with DPW, EGLE, and Engineers on options for the system and cost estimates
<u>Brewery Creek Parking Lot Improvements.</u> Since the condominium was dissolved and the Township became the owner, the Board has been discussing improvements. Due to high cost of paving, the design is pending.	TBD; bid at \$460,000	Marina		Placed out to bid in 2023; came back at \$460,000. Board decided to re-bid.