





**Charter Township of Elmwood  
Planning Commission Regular Meeting  
Elmwood Township Hall (10090 E. Lincoln Rd)  
February 20, 2024 at 6:30 PM**

- A. Call to Order:** Chairman Bechtold called the meeting to order at 6:30 PM.
- B. Pledge of Allegiance:** The Chair led the Pledge of Allegiance.
- C. Roll Call: Present:** Chris Mikowski, Kendra Luta, Rick Bechtold, Jeff Aprill, Jonah Kuzma  
**Excused:** Nate McDonald, Doug Roberts
- D. Limited Public Comment:** None
- E. Agenda Modifications/Approval:** **MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER KUZMA TO APPROVE THE AGENDA AS PRINTED. MOTION APPROVED 5-0.**
- F. Minutes-January 16, 2024:** **MOTION BY COMMISSIONER LUTA, SECONDED BY COMMISSIONER KUZMA TO APPROVE THE MINUTES OF JANUARY 16 2024. MOTION PASSED BY A UNANIMOUS VOTE.**
- G. Consent Calendar:** **MOTION BY COMMISSIONER LUTA, SECONDED BY COMMISSIONER APRILL TO APPROVE THE CONSENT CALENDAR AS PRESENTED. MOTION APPROVED UNANIMOUSLY.**
- H. Declaration of Conflict of Interest:** None
- I. Old Business:** None
- J. New Business: (2:19:48)**  
**a. Public Hearing and Deliberations. ZO 2017-04-17-a Zoning Ordinance Amendment to amend Section 2.2 Definitions to add definitions for "Active Farm Operation", "Festival", and "Special Event Facilities"; amend Section 5.4 to allow for special Event Facilities within the Agricultural-Rural Zoning District, with a Special Use Permit and to renumber the subsequent uses within the Land Use and Zoning district Table; amend Section 9.8 H to include standards and regulations specific to Special Event Facilities.**

The Chair read the statement to open a public hearing. Public hearing opened at 6:36 p.m. The applicant was not present to comment.

Public comment opened at 6:39 p.m. No public comment was given. Public comment closed at 6:40 p.m.

The Chair noted they have the document in front of them that has the proposed text changes and asked the Commissioners if they had questions regarding the changes. Staff commented that she printed out 2 pages from the original application, the text has changed significantly since that date. When the Gallagher's originally submitted the text amendment, Staff was working with them and the language was revamped, so some of the responses to what's in our Zoning Ordinance and reasons why text amendments should be considered; some of that language may have changed, but it's been almost a year, so she wanted to provide what the Gallagher's had provided regarding their text amendment.

Their consultant could not be there that evening, but had prepared draft Findings of Fact which Staff passed around.

The Chair closed the public hearing at 6:41 p.m.

The Commissioners went through deliberations and discussed the sections for amendment. The Chair asked the Commissioners to review section 1.4 because they had spent quite a bit of time and discussion on it at the last meeting. As previously discussed, the minimum lot size was changed to 40 acres. Also, in 2(d) the special event facility including structures used for the special event, parking area designated for guests or space to be used for special event facility shall not exceed 7.5% of the area used for active farm operation on this parcel.

Commissioner Aprill noted under (g) the only thing he had a problem with in that section is where it says "greenbelt"; he knows the definition of a "greenbelt" in the Ordinance which mentions shrubs around a creek or water body, and he knows in the past they talked about a greenbelt just being grass between a road and a building, and he thinks for clarification they should probably have something more than "greenbelt". The Chair said the way he read it was if the greenbelt wasn't possible, the owner could put up an obscuring fence or masonry wall. Staff said the intent was "shall be screened from view."

The Chair said under (h) there was discussion because the applicant brought up concerns about that, but counsel said this was the language they were strongly recommending they include in this, therefore it appears as counsel suggests.

Commissioner Kuzma said it looks like the text, as written, checks all the boxes they discussed.

The Commissioners proceeded with the Beckett and Raeder document reviewing Section 11.12.D to determine if the guidelines have been met. There was consensus among the Commissioners that (a)-(e) were met, but had lengthy discussion on (f)-(g). Staff noted, not all guidelines need to be met. The Planning Commission is not voting to add this to the Ordinance, they're sending it to the County and then the Township Board who ultimately makes the determination on whether or not to approve the amendment. The Planning Commission should review the guidelines in recommending approval or recommending

denial of the text to the Township Board. The Commission went through the guidelines one by one and found the following:

Guideline (a): The proposed text amendment would clarify the intent of the Ordinance. *A majority (4-1) of the Commission finds that the proposed amendment clarifies the general intent of the zoning ordinance and the districts in which the use is allowed. The Intent section of the A-R zoning district as stated in the Ordinance is "1. The A-R zoning district encourages continued agricultural pursuits and recognizes the historic importance of agriculture to the region and the need for productive and unique farmland to sustain the food production needs of the region and the nation. 2. The A-R zoning district encourages an open and rural character for the majority of Elmwood Township. 3. Without unduly limiting private property rights, the A-R zoning district preserves scenic vistas, retains contiguous greenways for natural habitat, limits impacts to the natural environment, and to the extent possible and practical protects significant woodlands, sloped areas, wetlands, and other sensitive lands in the zoning district. 4. Lastly, the use restrictions and dimensional requirements of this zoning district directly or indirectly discourage and limit a sprawling land use pattern and encourage responsible development practices.*

Guideline (b): The proposed text amendment would correct an error in the Ordinance. *The Commission unanimously finds that This amendment adds a use and regulations to the Ordinance it does not correct an error in the Ordinance.*

Guideline (c): The proposed text amendment would address changes to State legislation, recent case law or opinions from the Attorney General of the State of Michigan. *The Commission unanimously finds that the proposed text amendment does not address any changes to legislation or case law. This is a voluntary amendment that the Township received an application for consideration.*

Guideline (d): The proposed text amendment would promote compliance with changes in other county, state or federal regulations. *The Commission unanimously finds that the proposed amendment is not intended to promote compliance with changes in regulations. There have been no changes to county, state, or federal regulations regarding this use.*

Guideline (e): The proposed text amendment would be consistent with the goals, policies, and future land use map of the Elmwood Township Master Plan, or if conditions have changed significantly since the Master Plan was adopted, consistent with recent development trends in the area. *The Commission unanimously finds that the proposed amendment is consistent with the goals and policies of the Master Plan. This amendment is intend to conserve agricultural lands and protect existing farms from the cost of development (MP pg 9), complies with the Planning and Growth Management goal and objectives (MP pg 23), protects natural resources goals, objectives, and strategies (MP pg 24), and advances the commercial land use goals and objectives (MP pg 27).*

*Guideline (f): In the event the amendment will add a use to a district, that use shall be consistent with the character of the range of uses provided within the district.*

*A majority of the Commission (3-2) finds that the proposed amendment adds a use to the district and this new use is not consistent with other uses allowed by right and special use in Section 5.4 Land Use and Zoning District Table of the Elmwood Township Zoning Ordinance.*

*Guideline (g): The amendment shall not create incompatible land uses within a zoning district, or between adjacent districts.*

*The Commission unanimously finds that the proposed amendment does create incompatible land uses as the uses are not similar to the uses listed in Section 5.4 Land Use and Zoning District Table of the Elmwood Township Zoning Ordinance.*

*Guideline (h): The proposed text amendment is supported by the findings of reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements, and similar technical items.*

*The Commission unanimously finds that they have not received reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements, and similar technical items pertaining the request.*

*Guideline (i): As applicable, the proposed text amendment shall be consistent with the Township's ability to provide adequate public facilities and services.*

*The Commission unanimously finds that the regulations that are provided in the amendment create a use that is consistent with the Township's ability to provide adequate public facilities and services including fire, water, sewer, and medical services.*

*Guideline (j): The proposed text amendment shall be consistent with the Township's desire to protect the public health, safety, and welfare of the community.*

*A majority of the Commission (4-1) finds that the proposed text amendment is consistent with the Township's desire to protect the public health, safety and welfare of the community as the amendment provides additional regulations to ensure that this use continues to protect the public health, safety and welfare of the community.*

**MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER MIKOWSKI TO RECOMMEND APPROVAL OF ZO 2017-04-17, TEXT AMENDMENT TO THE TOWNSHIP BOARD AND FORWARD ON TO THE COUNTY. MOTION APPROVED UNANIMOUSLY.**

**b. Introduction, continued. Planning Commission Discussion on ZO 2017-04-22-a Zoning Ordinance Amendment to amend Section 2.2 to add a definition for Dwelling, Multi and Lot Area, Gross and to modify the existing definitions for Parcel, Lot Area and Net Lot Area; create Section 3.14 to include development requirements for Multi-Dwelling developments; add Note "I" to Section 5.6 to reference residential density requirements to Section 3.14; modify Section 7.1.2 so residential base**

**density is determined using net acreage; modify Section 7.2.2 so residential density is based off of net lot area; modify Section 8.4.12 to have Site Plan Review applicants submit the gross lot area and net lot area.**

The Chair noted these are text amendments that would deal with some definitions. Staff stated this is a continued introduction, no decisions or modifications were made at the last meeting. The Commission wanted more time with the language. Last time there was a question on how it would impact how many dwelling units could be on a parcel with cluster developments; staff prepared an Excel sheet that shows what could be allowed. Staff stated again that the draft text has not changed, the only new information is the table.

The Commissioners discussed “lot” versus “parcel”, private road, easement, and utility easements.

**MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA TO SCHEDULE A PUBLIC HEARING ON ZO 2017-04-22 AT THE NEXT REGULARLY SCHEDULED MEETING. DISCUSSION. MOTION PASSED UNANIMOUSLY.**

**c. Introduction, continued. Planning Commission discussion on ZO 2017-04-23, a Zoning Ordinance Amendment to amend Section 2.2 to add a definition for alcohol, beer, brewer, brewery, distiller, micro brewer, small distiller, small wine maker, spirits, tasting room, and wine maker. Revise definitions for distillery, wine, winery, and eliminate definitions for distillery tasting room, wine, brandy, wine drink, mixed, wine related beverages, and wine tasting room. Amend Section 5.4 to eliminate distillery tasting rooms, microbreweries/distilleries, and wine tasting room, add distillery and/or brewery and tasting room as permitted uses under site plan review or industrial districts under site plan review, renumber uses, amend Section 5.5 K to eliminate two requirements for temporary produce stands and renumber subsequent requirements, add Section 5.5 N to contain requirements for wineries, distilleries, and breweries; amend Section 6.1.3 to list parking requirements for wineries, distilleries, and breweries; amend Section 9.8 J to contain requirements for tasting rooms for wineries, distilleries, and breweries, eliminate Section 9.8 L distillery tasting room and its requirements and reserve Section 9.8 L for future use.**

Staff reported the text in front of the Commissioners has not changed since their last meeting; she included the clean version and the red line version. The Ordinance currently allows for wine tasting rooms and distillery tasting rooms, but they have different requirements; the intent is to streamline their requirements and to ensure that the use is tied to agricultural use of the property. At the last meeting there was lengthy discussion on commercial uses so she provided a copy of Section 5.4 of the Ordinance which is all of the currently allowed uses. Staff pointed out that quite a few commercial activities are currently allowed in the Ag District, but they are restricted and regulated, generally speaking. An exception is microbreweries as it is allowed, but there are no requirements

other than it is regulated by the state and it meets all the requirements of the Site Plan Review; there is not even a definition currently. The prepared text does add quite a few definitions and many were recommended by counsel and align with state law.

Commissioner Aprill commented on utility scale solar energy systems saying he's seen a lot of those on commercial structures and it far exceeds their usage. He asked if they should allow utility scale solar energy systems within the commercial district. Staff replied they could look at that, but tonight's focus should be on the prepared text.

Commissioner Mikowski noted on pages 7 & 9 under 6a11, the sale of food shall not exceed 10% etc., she asked if they ever require that and if not, should they review that on a regular basis. Commissioner Aprill thought they should either not require it, or enforce it. Commissioner Kuzma thought it was important to have in there. Staff said it comes from the current Ordinance under distillery tasting room, so if she received a complaint, she would put in a request to view their receipts. They could change it to, "annually" or "monthly". The Commissioners discussed the topic further then continued on with the proposed text amendments then agreed to add "monthly" review of food sales.

**MOTION BY COMMISSIONER MIKOWSKI, SECONDED BY COMMISSIONER LUTA TO MOVE 2017-04-03 TO A PUBLIC HEARING AT THE NEXT REGULARLY SCHEDULED MEETING. MOTION APPROVED 4-1.**

**K. Discussion on Zoning Ordinance:** None

**L. Comments from the Chair:** Commissioner Bechtold thanked the Commissioners for their diligence in reviewing the materials and the good discussion.

**M. Comments from Planning Commissioners:** Commissioner Mikowski recommended the classes at the Grand Traverse Resort.

**N. Comments from Staff:** Staff added, if any Commissioners wanted to take the classes which she also recommended, they can let her know for the early bird rate. Also, she sent around a survey monkey for a special meeting and asked the Commissioners to let her know after the meeting which date works for them. Furthermore, they'll need to change their November meeting date because the Board is already scheduled for that date.

**O. Public Comment:** None

**O. Adjourn: MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA TO ADJOURN THE MEETING AT 8:55 PM. MOTION PASSED UNANIMOUSLY.**



**Charter Township of Elmwood  
Planning Commission Special Meeting  
Elmwood Township Hall (10090 E. Lincoln Rd)  
March 5, 2024 at 6:30 PM**

**A. Call to Order:** Chairman Bechtold called the meeting to order at 6:30 PM.

**B. Pledge of Allegiance:** The Chair led the Pledge of Allegiance.

**C. Roll Call: Present:** Chris Mikowski, Kendra Luta, Rick Bechtold, Jeff Aprill (6:37 p.m.), Jonah Kuzma. **Excused:** Doug Roberts

**D. Limited Public Comment:** None

**E. Agenda Modifications/Approval:**  
**MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA TO APPROVE THE AGENDA WITH CORRECTION. MOTION PASSED 5-0.**

**F. Declaration of Conflict of Interest:** None

**G. Purpose of Special Meeting: Comprehensive Plan Discussion**

The Chair noted they must have a Master Plan in place and review it every 5 years. Staff gave an overview stating she took what the Commission has discussed as well as issues she has seen with their existing plan and prepared the enclosed RFP. She had it reviewed by counsel and highlighted sections 6 & 7 pursuant to Township Attorney, they're fine with the language as drafted. She relayed the modifications she and The Chair discussed prior to the meeting which were, under climate to add "as well as efforts to preserve the changing shoreline", and then under goals and issue identification to change "one community visioning sessions" to "two community visioning sessions". In the packet she also included the excerpts of the Minutes they had discussion on the Plan in the past, and also an excerpt from the current plan. It's been a very long time since they've done a rewrite; much of the text is from 1999, and the survey is a decade old. She also included what the Commission has received before, the checklist from the MSU Extension School which should also be in a Comprehensive Plan. Also, 7F was stricken because it was essentially the same as 7E.

**MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA TO 1) DIRECT STAFF TO SEND OUT NOTICES TO THE APPROPRIATE AGENCIES INDICATING THE TOWNSHIP'S INTENT TO PLAND AND 2) TO RECOMMEND THE TOWNSHIP BOARD APPROVE THE RFP AS DRAFTED/DISCUSSED AND DISTRIBUTE ACCORDINGLY. MOTION APPROVED BY A UNANIMOUS VOTE.**

**H. Discussion on Zoning Ordinance:** Commissioner Aprill mentioned once they go through the Comprehensive Plan, they'll need to update the Ordinance to reflect the term.

**I. Comments from the Chair:** Chairman Bechtold thanked the Commissioners for squeezing this meeting in and he appreciates their comments.

**J. Comments from the Planning Commissioners:** None

**K. Comments from Staff:** Sarah thanked the Commissioners for reviewing the information and for the discussion. She looks forward to continued work with them and Comprehensive Planning for the next 12-16 months.

**L. Public Comment:** None

**M. Adjourn: MOTION BY COMMISSIONER LUTA, SECONDED BY COMMISSIONER MIKOWSKI TO ADJOURN MEETING AT 6:55 PM. MOTION PASSED UNANIMOUSLY.**

DRAFT

To: Elmwood Township Board  
 From: Sarah Clarren, Planner/Zoning Administrator  
 RE: February 2024 Planning and Zoning Report

PERMITS:	02/2024	2/2023	YTD 2024	YTD 2023
Single Family Dwelling	1	0	2	0
Attached SFD	0	0	0	0
Accessory Building	0	0	0	0
AG Building	0	0	0	0
Residential Addition	0	1	0	1
Deck	1	1	1	2
Sign	0	0	0	0
Commercial	1	0	2	0
Misc.	0	0	0	0
<b>Total Permits</b>	<b>3</b>	<b>2</b>	<b>5</b>	<b>3</b>
<b>Fees Collected</b>	<b>\$337.76</b>	<b>\$100.00</b>	<b>\$509.76</b>	<b>\$200.00</b>

**Zoning Board of Appeals:**

**January 3, 2024, Special Meeting.** Included in last report. Due to no new applications, next meeting TBD.

**Planning Commission:**

**February 20, Regular Meeting.** 1) Public Hearing on ZO 2017-04-17 – re-introduction of Special Event Facilities within the A-R Zoning District – Commission recommended approval to Board and to send to County for comment, 2) continued discussion on ZO 2017-04-22 a Zoning Ordinance Amendment to amend Section 2.2 to add a definition for Dwelling, Multi and Lot Area, Gross and to modify the existing definitions for Parcel, Lot Area and Net Lot Area; create Section 3.14 to include development requirements for Multi-Dwelling developments; add Note ‘I’ to Section 5.6 to reference residential density requirements to Section 3.14; modify Section 7.1.2 so residential base density is determined using net acreage; modify Section 7.2.2 so residential density is based off of net lot area; modify Section 8.4.12 to have Site Plan Review applicants submit the gross lot area and net lot area – *public hearing scheduled for next meeting*, 3) continued discussion on ZO 2017-04-23 – a Zoning Ordinance Amendment to amend Section 2.2 to add definitions for Alcohol, Beer, Brewer, Brewery, Distiller, Micro Brewer, Small Distiller, Small Wine Maker, Spirits, Tasting Room, Wine Maker, revise definitions for Distillery, Wine, Winery, and eliminate definitions for Distillery Tasting Room, Wine, Brandy, Wine Drink, Mixed, Wine Related Beverages, and Wine Tasting Room; amend Section 5.4 to eliminate Distillery Tasting Rooms, Microbreweries/Distilleries, and Wine Tasting Room, Add ‘Distillery and/or Brewery’ and ‘Tasting Room’ as permitted uses under Site Plan Review or Special Use Permit in certain zoning districts, allow Winery as a use within the General Commercial and Light Industrial districts under Site Plan Review, renumber uses; amend Section 5.5.K to eliminate two requirements for Temporary Produce Stands and renumber subsequent requirements; add Section 5.5.N to contain requirements for Wineries, Distilleries, and Breweries; amend Section 6.1.3 to list parking requirements for Wineries, Distilleries, and Breweries; amend Section 9.8.J to contain requirements for Tasting Rooms for Wineries, Distilleries, and Breweries; eliminate Section 9.8.L Distillery Tasting Room and its requirements and reserve Section 9.8.L for future use – *public hearing scheduled for next meeting.*

**March 5, Special Meeting.** 1) Comprehensive Plan Discussion – The Commission reviewed a RFP and unanimously voted to 1) direct Staff to send out notices to the appropriate agencies indicating the intent to plan and to 2) recommend the Township Board approve the RFP as drafted and discussed and distribute accordingly.

**March 19, Regular Meeting.** Agenda not yet finalized, but will include: 1) Public Hearing on ZO 2017-04-22 as detailed above, 2) Public Hearing on ZO 2017-04-23 as detailed above.

**Office Updates:**

**STRs.** 93 licenses for 2024 have been issued. 11 applications are on waitlist.

Due to file size constraints, see 'Handouts' within the PC's 3/19/24 page for the Long Lake Township Master Plan (<https://www.leelanau.gov/elmwoodmtg.asp?MAId=577>)

To: Elmwood Township Planning Commission  
From: Sarah Clarren, Planner/Zoning Administrator  
Date: February 28, 2024  
RE: SPR 2024-03, Discovery Pier Discovery Pier Phase II and III

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**Should the Planning Commission find the application complete and the project meets the standards and requirements for Site Plan Approval:**

**Recommended Motion:** Motion to approve Site Plan Review SPR 2024-03, Discovery Pier Phase II and III.

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Property Owner/Applicant: Discovery Center and Pier      Engineer: Edgewater Resources  
13170 S West-Bay Shore Drive      518 Broad Street, Suite 200  
Traverse City, MI 49684      St Joseph, MI 49805

Hearing Date:      N/A – Site Plan Review

**PROPERTY DESCRIPTION\***

Parcel ID #      004-033-078-00 (13223 S West-Bay Shore Dr, 1.58 acres)  
004-033-073-00 (13170 S West-Bay Shore Dr, 3.11 acres)  
004-033-074-00 (0 S West-Bay Shore Dr, 4.00 acres)  
004-033-077-00 (13240 S West-Bay Shore Dr, 2.27 acres)  
004-033-080-00 (13272 S West-Bay Shore Dr, 6.97 acres)  
004-033-079-00 (13271 S West-Bay Shore Dr, 0.70 acres)

\*Note that the Applicant will be seeking a parcel combination.

**APPLICATION**

The Discovery Center is seeking approval through SPR for aspects of Phase II and III of their previously approved Planned Development. The memo from Edgewater Resources dated 2/13/2024 includes a summary of past permitting and the work that has been completed onsite.

When the Commission approved the PD, there were a few conditions (see enclosed affidavit for all conditions); the proposed elements of Phase II and Phase III do not hinder the conditions from the PD.

The parcels on the landward side of M22 are zoned General Commercial and the parcels on the shoreward side of M22 are zoned Shoreline Commercial. The use was permitted through PD, but note that Nonprofit educational and recreational facilities are an approved use under SPR within the SC Zoning District. It is also worth noting that the Applicant is seeking to combine all parcels into one. This will not change the zoning of the parcels, but it will change the lot numbers and addresses. The Planning Commission does not review / approve Land Divisions or Combinations, but it is important to note as parking calculations are based on the combinations of all lots. The parking area on the landward side of M22 is already constructed and they are seeking after-the-fact approval. This parking lot was not included in the PD and therefore it must conform to Article 6 of the Zoning Ordinance; as it currently stands, further information is required to ensure it conforms.

The Narrative submitted within the application details authorized work that has been completed, previously authorized work that has not yet been completed, and detail on elements they are seeking approval for at this time.

“The following items are in addition to the previously approved scope of work and are planned as part of these forthcoming Phases 2 and 3:

- Completion of the upland Tour Boat parking lot, west of M-22 (see attached updated parking requirement calculations as an update to previous approved quantities) - This parking lot has been partially completed therefore this request is for after-the-fact authorization
- A 20'x30' temporary event tent to support events in the previously approved pavilion
- A second, low-capacity, jib crane to facilitate the future launching of scientific ROV's
- A fixed access platform in the northwestern portion of the marina basin for pedestrian and utility access to the West Dock floating dock system
- A fixed access platform in the southwestern portion of the site, in the location of the previously authorized HS sailing platform, to support the ADA kayak launch access ramp and to provide additional pedestrian access clearance to launch users.”

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#### **HOW TO READ THE FOLLOWING SECTIONS:**

Text that is in regular font is standards/requirements from the Zoning Ordinance.

**Bolded text is from the Zoning Administrator (ZA).**

#### **SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL**

The following information shall be provided with the site plan as indicated, unless waived by the Zoning Administrator when such information is not applicable. The site plan must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less. Required site plan elements shall include:

1. Applicant's name, address, and telephone number. *Provided (application and Sheet G-0.01)*
2. Applicant's name, address, and telephone number. *Provided (application and Sheet G-0.01)*
3. Property owner's name, address, telephone number, and signature. *Provided (application and Sheet G-0.01)*
4. Proof of property ownership, and whether there are any options or liens on the property. *(Provided, staff confirmed via deed)*
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent. *N/A*
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage. *Provided (application; document with Leelanau Tax Parcel Viewer Information)*
7. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers. *Not yet provided, typically conditioned.*
8. Project title or name of the proposed development. *Provided (Sheet G-0.01)*

9. Statement of proposed use of land, project completion schedule, and any proposed development phasing. **Provided (2/13/24 Memo)**
10. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site. **Provided (Addendum, n.d.)**
11. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance. **Provided (Addendum, n.d.)**
12. A vicinity map showing the area and road network surrounding the property. **Provided (Sheet G-0.01)**
13. The gross and net acreage of the parcel. **Partially provided (Gross on document with Leelanau Tax Parcel Viewer Information, Net not yet provided).**
14. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels. **Provided (Sheet LS-1.00)**
15. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations. **Provided (various sheets, 'Leelanau Tax Parcel Viewer Information')**
16. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%. **Some elevations shown on V-1.01)**
17. The location and type of existing soils on the site, and any certifications of borings. **Provided (Web Soil Survey; no borings).**
18. Location and type of significant existing vegetation. **Provided (aerials, sheet LS-1.01)**
19. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes. **Provided (various sheets; FIRMETTE)**
20. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope. **No permanent buildings proposed under this SPR; temporary tent proposed during special events in designated locations (LS1.01).**
21. Proposed location of all proposed structures, buildings, equipment, and uses. **Provided, multiple sheets.**
22. Elevation drawings of typical proposed structures and accessory structures. **Provided, multiple sheets.**
23. Location of existing public roads, rights-of-way, easements of record, and abutting streets. **Provided (various sheets)**
24. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property. **Provided, multiple sheets.**

25. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof. ***Provided, multiple sheets.***
26. Location, size, and characteristics of all loading and unloading areas. ***Provided, multiple sheets.***
27. Location and design of all sidewalks, walkways, bicycle paths, and area for public use. ***Provided many sheets.***
28. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable). ***Provided (Sheets LS-1.02, U-1.01)***
29. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam. ***Provided (Sheet U-1.01)***
30. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable. ***N/A***
31. Location, size, and specifications of all signs and advertising features, including cross-sections. ***No changes proposed from previously permitted work.***
32. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used. ***No changes proposed from previously permitted work.***
33. Location and specifications for all fences, walls, and other screening features, with cross sections shown. ***Provided (Sheets C-5.02, C-5.03, C-5.05)***
34. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate. ***None shown/proposed.***
35. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities. ***No changes from previously approved plan.***
36. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities. ***N/A***
37. Identification of any significant site amenities or unique natural features, and whether they will be preserved. ***Provided (Sheet 6S-1.02).***
38. North arrow, scale, and date of original submittal and last revision. ***Provided (various sheets)***

## **SECTION 8.5 REVIEW AND APPROVAL**

- A. All applications for site plan approval shall be reviewed against the standards and requirements of this Ordinance. Only when satisfied that the application meets all standards and requirements shall



the Planning Commission approve, or approve with conditions, an application for site plan approval to ensure the health, safety, and welfare of the residents of Elmwood Township.

B. **Standards for Site Plan Approval.** The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

C. **Standards for Site Plan Approval.** The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article.
2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval. Further, all applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met or can be made a condition of site plan approval.
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.
4. Compliance with all non- zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.
5. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.
6. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.
7. All buildings and structures are accessible to emergency vehicles.
8. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.
9. The percentage of impervious surface has been limited on the site to the extent practicable.
10. Efforts have been made to protect the natural environment to the greatest extent possible.
11. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.
12. The proposal furthers the goals and objectives of the Master Plan.

#### Suggested Proposed Conditions

- 1) Prior to issuance of a Land Use Permit, a sealed and signed set of plans shall be provided to the Township.

- 2) Prior to issuance of a Land Use Permit, permits from all applicable outside agencies shall be provided.
- 3) Temporary tents used during special events (permitted under a different decision) shall be tightly secured during their use and taken down at the end of each event.
- 4) Pursuant to Section 6.1.3.B of the Zoning Ordinance, "All parking areas shall conform to the requirements of the Americans with Disabilities Act and any other accessibility requirements in effect at the time. These spaces shall be included in the calculations for meeting the parking requirements of this Article." Prior to issuance of a Land Use Permit, compliance with this requirement shall be provided.
- 5) Prior to issuance of a Land Use Permit for the parking lot, the parcels must be combined.
- 6)
- 7)

## Memorandum

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Date: March 8, 2024  
To: Charter Township of Elmwood, Planning and Zoning  
From: Colin Hassenger, PE  
Subject: Discovery Center Great Lakes – 2024 Phase 2 and 3 Site Plan Review Narrative

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Distribution: Matt McDonough, Discovery Center Great Lakes

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**Property:** Discovery Pier Center, located at 13240 and 13170 S. West Bay Shore Drive. Traverse City, MI 49684.

Elmwood Township Site Approvals to date include:

- Land Use Permit Approved November 8, 2019, # 2019-68
- Planned Development Site Plan, Approved June 15, 2021, # 2021-05
- Site Plan Review Submittal 8/23/2021 Approved November 9, 2021, #2021-10
- Land Use Permit, Approved on 11/18/2022, # 2022-68
- Pavilion Site Plan Review (Revised) 1/26/2023 Approved February 21, 2023, #2023-02

Today's Phase 2 and Phase 3 scope of work is the next phase for the Discovery Center Planned Development, last approved June 15, 2021, by the Elmwood Township Planning Committee. The approved plan continues intact as approved in 2021. This narrative addresses the Zoning Ordinance elements that have been updated with a change or are in addition to the 2021 approved plan. Discovery plans to combine their multiple parcels into a single large parcel, therefore the updated parking calculations referenced below are for the entire combined campus.

To date, the following previously authorized work has been completed on the project as part of the first two phases of work:

- All demolition, dredging, sheeting, and revetment work to establish the new shoreline limits
- Upland fill and grading both on the Pier and for the parking lots has been performed
- All base underground utilities have been installed
- Discovery Pier and the access Causeway have been completed, with the exception of the future Core Structure Building. This includes all pavement, hardscapes, landscaping, fishing access site furnishings, lighting, and the Pavilion Structure (in place of the previous Tensile Structure per previous SP revision). The Core Structure Building (now referred to as the future Research building) will be applied for separately in the future
- The pedestrian bridge between the Pier and Greilickville Harbor Park has been installed
- The South Dock and East Dock floating dock systems along with their access platform and ADA gangway ramp have been installed



- The M-22 pedestrian crosswalk has been installed

The following previously authorized scope of work still remains to be completed in the forthcoming Phases 2 and 3, anticipated in Summer 2024 – Spring 2025:

- Paving of the M-22 frontage parking lot along with adjacent sidewalk and drainage bioswale
- 864 SF Restroom and Ticket Office building south of M-22 frontage parking lot
- Relocation of Pier entry sign
- Installation of the North Dock, West Dock, Kayak Launch, and Wave Attenuator along with their respective utility systems and ADA access ramps.
- Installation of the jib crane, in revised location

The following items are in addition to the previously approved scope of work and are planned as part of these forthcoming Phases 2 and 3:

- Completion of the upland Tour Boat parking lot, west of M-22 (see attached updated parking requirement calculations as an update to previous approved quantities) – This parking lot has been partially completed therefore this request is for after-the-fact authorization
- A 20'x30' temporary event tent to support events in the previously approved pavilion
- A second, low-capacity, jib crane to facilitate the future launching of scientific ROV's
- A fixed access platform in the northwestern portion of the marina basin for pedestrian and utility access to the West Dock floating dock system
- A fixed access platform in the southwestern portion of the site, in the location of the previously authorized HS sailing platform, to support the ADA kayak launch access ramp and to provide additional pedestrian access clearance to launch users.

Respectfully submitted,  
Colin Hassanger, PE  
Project Manager  
Edgewater Resources LLC

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Charter Township of Elmwood  
Application for Site Plan Review

**Applicant**

Matthew D McDonough, CEO  
Name

13170 S West Bayshore Dr.

Street Address  
Traverse City MI 49684

City State Zip

(231) 299-0106

Phone Number  
matt@discoverygreatlakes.org

Email Address

**Owner (if different)**

Discovery Center Great Lakes  
Name

13170 S West Bayshore Dr.

Street Address  
Traverse City MI 49684

City State Zip

(231) 299-0106

Phone Number  
matt@discoverygreatlakes.org

Email Address

**Engineer**

Edgewater Resources, LLC (Attn: Colin Hassenger, PE)  
Name

518 Broad Street, Suite 200

Street Address  
St. Joseph MI 49085

City State Zip

(269) 625-4869

Phone Number  
chassenger@edgewaterresources.com

Email Address

**Surveyor**

N/A  
Name

Street Address

City State Zip

Phone Number

Email Address

**Contact Person (All communications from the Township will be sent to this individual regarding the submitted application)**  Applicant  Owner  Engineer  Surveyor

**Property Information:**

Property Address: 13170-13272 and 13271 S West Bayshore Drive

Parcel Number: 45-004-033 - 078 - 00 Current Master Plan Designation Elmwood Township Master Plan

Zoning District: GC and SC Current Use of Property: Mixed per attached site plans

Adjacent Property Zoning AND Use(s): North: SC, public park

East: N/A, Grand Traverse Bay  
South: GC, medical offices  
West: GC, public trail

Other Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

As required by Section 8.5 of the Zoning Ordinance, all applications for site plan approval shall be reviewed against the standards and requirements of this Ordinance. Only when satisfied that the application meets all standards and requirements shall the Planning Commission approve, or approve with conditions, an application for site plan approval to ensure the health, safety, and welfare of the residents of Elmwood Township.

The Planning Commission must make a finding that specific standards are met prior to approving a site plan. To aid their determination, please detail (with additional pages as necessary) how the proposed project meets the following standards:

<u>Site Plan Review Standard</u>	<u>Applicant Review</u>	<u>Office Use Only</u>
1. All required site plan and application information has been provided as specified in this Article.	Plans show all previously approved elements along with any additional elements	
2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval.	Parcel combination of all owned parcels should be a condition of site plan approval. All other permits and approvals have been previously issued for this project, any that are expired will be renewed prior to implementation	
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.	The overall needs of these services has not changed for this project from previous approvals	
4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met.	This project remains in accordance will all previous approvals	
5. Compliance with all non- zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.	Noted in previous application	
6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious,	All proposed buildings match existing and future master planned structures	

compatible, and appropriate in appearance with the existing or intended character of the general vicinity.		
7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.	This was considered during design and was minimized	
8. All buildings and structures are accessible to emergency vehicles.	Access remains to all buildings as previously approved	
9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.	Circulation remains as previously approved	
10. The percentage of impervious surface has been limited on the site to the extent practicable.	Impervious surface has been limited where possible, the overflow lot on the Pier has been removed to reduce this amount further	
11. Efforts have been made to protect the natural environment to the greatest extent possible.	Parking removed where possible as noted above	
12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.	Stormwater remains onsite	
13. The proposal furthers the goals and objectives of the Master Plan.	This remains as noted in original submittal narrative	



**SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL**

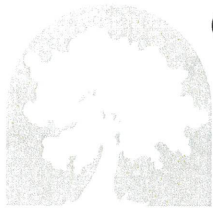
The Ordinance requires specific information be included in each application for Site Plan Approval. Please use the following table to ensure that you have included the required information either on your plan (which must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less) or included elsewhere in your application. Please use additional pages, as necessary.

<b>Site Plan Review Requirement</b>	<b>Applicant Review</b>	<b>Office Use Only</b>
1. Applicant's name, address, and telephone number.	noted on cover sheet	
2. Property owner's name, address, telephone number, and signature.	<b>noted on cover sheet</b>	
3. Proof of property ownership, and whether there are any options or liens on the property.	<b>same as previous application</b>	
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent.	applicant is the owner	
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage.	noted on site plan and previous application	
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers.	shown on cover sheet	
7. Project title or name of the proposed development.	noted on cover	
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing.	<b>included in previous application</b>	
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site.	same as previous application	
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or	<b>included in previous application</b>	

open space proposed, and similar information required to evaluate compliance with the Ordinance.		
11. A vicinity map showing the area and road network surrounding the property.	<b>shown on cover sheet</b>	
12. The gross and net acreage of the parcel.	included in previous application	
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels.	<b>show on overall site plan</b>	
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations.	shown on site plans	
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%.	<b>shown on site plans</b>	
16. The location and type of existing soils on the site, and any certifications of borings.	<b>noted in previous application</b>	
17. Location and type of significant existing vegetation.	shown on site plan	
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes.	shown on site plans	
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope.	shown on site plans	
20. Proposed location of all proposed structures, buildings, equipment, and uses.	<b>shown on site plans</b>	
21. Elevation drawings of typical proposed structures and accessory structures.	<b>shown on site plans</b>	
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets.	<b>shown on site plans</b>	
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property.	n/a	

24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof.	shown on site plans	
25. Location, size, and characteristics of all loading and unloading areas.	<b>shown on site plans</b>	
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use.	<b>shown on site plans</b>	
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable).	shown on site plans	
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam.	shown on site plans	
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable.	shown on site plans	
30. Location, size, and specifications of all signs and advertising features, including cross-sections.	<b>shown on site plans</b>	
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used.	shown on site plans	
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown.	<b>shown where present on site plans</b>	
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on	shown on site plans	

site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate.		
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities.	n/a	
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities.	n/a	
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved.	shown on site plans	
37. North arrow, scale, and date of original submittal and last revision.	shown on site plans	



# CHARTER TOWNSHIP OF ELMWOOD

## Planning and Zoning

10090 E. Lincoln Rd, Traverse City, MI 49684

(231) 946-0921 Fax (231) 946-9320

Email: [planner@elmwoodtownship.net](mailto:planner@elmwoodtownship.net)

The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Benzie-Leelanau District Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator. Comment letters shall be provided to the Zoning Administrator prior to application being placed on the Planning Commission agenda for consideration.

### **Affidavit:**

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, and that the answers and statements herein contained and the information submitted are in all respects true and correct. In addition, the undersigned represents that he/she or they is authorized and does hereby grant a right of entry to Township officials for the purpose of inspecting the premises and uses thereon for the sole purpose of gathering information regarding this request.

2/13/2024

Owner Signature

Date

2/13/2024

Applicant Signature

Date

### **OFFICE USE ONLY:**

Case Number: \_\_\_\_\_ Fee: \_\_\_\_\_ Paid: \_\_\_\_\_

PC Decision: \_\_\_\_\_ Date: \_\_\_\_\_

## Charter Township of Elmwood Escrow Policy

Accordingly, the procedure for the handling and processing of escrow deposits henceforth shall be as follows:

- A. In connection with any application for a special land use, site plan approval, zoning amendment, cluster residential development review, site condominium review, planned unit development review, appeal, interpretation, variance, or other application as required by this Ordinance, the Township may require the applicant to pay in advance into an escrow fund established to cover the reasonable costs of reviewing the application. These costs may include staff costs or consultant fees covering planning, engineering, environmental analysis, wetland delineation, legal review, and other professional and technical services required for a proper and thorough review of the application. No application shall be reviewed further or considered complete, and no permit shall be issued, until all costs have been paid and/or the escrow fund has been replenished as outlined below. The Township shall account for the expenditure of all escrow funds, and the Township Clerk shall refund any unexpended funds within sixty (60) days of final action.
  
- B. Should the escrow fund ever dip below fifty (50%) of the original fund amount, the applicant shall be advised and required to replenish said escrow fund to the full original amount within five (5) business days of having been so notified by the Township Clerk.
  
- C. The applicant may seek an accounting from the Township Clerk of expenditures from the escrow fund when a request is made by the Township to replenish the fund and/or after a final decision on the application has been made. However, the applicant has no authority to approve or deny expenditures.

Amount of Escrow Deposit Required: \_\_\_\_\_

Amount of Escrow Deposit Received: \_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Name: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

## Addendum to Application for Site Plan Review

### Discovery Center and Pier

#### 5. Legal Description.

PT GOVT LOT 1 N 1/2 OF NE 1/4 SEC 33 BEG N 1/4 COR SD SEC TH S 00 DEG 27' W 1313.33 FT TH S 89 DEG 41' E 767 FT TO W LINE WEST-BAY SHORE DR (A/K/A HWY M-22) TH S 2 DEG 10' W 150.28 FT TH S 89 DEG 47' E 66 FT TO E LINE SD HWY TH N 02 DEG 10' E 300.37 FT TO POB TH S 02 DEG 10' E 100 FT TH S 85 DEG 48' E 19.13 FT TH N 75 DEG 24' E 126.5 FT TO SHR GRAND TRAVERSE BAY TH NLY ALG SD SHR TO PT S 89 DEG 50' E OF BEG TH S 89 DEG 50' W TO POB ALSO FILLED LAKE MICHIGAN BOTTOMLAND ADJ & CONT TO GOVT LOTS 1 & 2 MORE FULLY DESCRIBED AS: COM N 1/4 COR SD SEC TH E 1443.10 FT TH S 04 DEG 24' E 1173.37 FT TH S 89 DEG 41' E 73.64 FT TO SLY LN TWP PARK TH S 89 DEG 50' E 45 FT TO POB TH S 89 DEG 50' E 75.17 FT TH N 88 DEG 59' E 413.13 FT TH S 01 DEG 14' W 233.35 FT TH N 89 DEG 28' W 204.53 FT TH N 06 DEG 16' W 179.94 FT TH N 51 DEG 22' W 31.12 FT TH N 88 DEG 22' W 108 FT TH S 58 DEG 21' W 36.48 FT TH S 03 DEG 50' W 27 FT TH S 75 DEG 24' W 127.73 FT TH N 11 DEG 34' E 105.47 FT TO POB ALSO ALL SIMILAR FILLED LAND BETWEEN & OPPOSITE WLY LN ABOVE & LOTS 1 & 2 ABOVE SEC 33 T28N R11W 1.58 A M/L

#### 8. Statement of proposed use of land, project completion schedule, and any proposed development phasing

The proposed use of the land is to transform the former coal dock into a barrier-free public park and a hub for our non-profit and educational partners to deliver classes and programming. The property will have recreational amenities specifically designed to accommodate people with varying physical abilities. It will also feature infrastructure to support outdoor instruction and events.

The project is slated to be completed in three phases and the proposed phasing of the project is noted below: (Please note, the project completion schedules beyond Phase I are estimates and will depend on fundraising.)

##### **Phase 1, December 1, 2022 – June 30, 2023**

- New fishing railing, shade & rain shelters, rod holders, benches, etc. with features for handicapped anglers
- Paved walkways on the Pier and Causeway
- Raise outer wall to same height as the rest of the pier-for resiliency in high water conditions
- Asphalt paving of permanent parking-Rotunda on Pier
- Storm Water system on Pier, frontage lot and tour boat parking lot
- Extend sewer, water, electric out to the Pier to accommodate future phases
- Add Donor Acknowledgement and daily event notification sign on site
- Relocate TTS ticket booth and tent
- Construct 4,000 sf structural pavilion for educational classes, public use and events
- Improved public safety and universal access
- Maximize public access for education and recreation

- Construct each element in a manner that anticipates future phases
- Site Lighting, and bollard or railing lights for walkways

## Phase 2, Fall 2024- Spring 2025

- New “Anchor Building” on Pier which would include:
  - Classroom & Lab
  - Restrooms (accessible from inside and outside building) for Pier users and classroom users)
  - Ticket Office
  - Storage
  - Catering Prep-room
- Additional floating docks for research vessels (NMC and Michigan Tech) and Discovery Center partner vessels, possibly including second ADA ramp for universal access
- Asphalt paving of permanent parking on M-22 frontage lot
- Storm Water system on M-22 frontage lot and tour boat parking lot
- Provide Universal Kayak Launch facility
- Landscaping, planting of frontage lot
- Completion of the Tour Boat and Tall Ship Parking Lot with crushed gravel west side of M-22
- Water and Electric to all new docks and existing docks
- Boater services building (similar architectural features to Elmwood) with restrooms, showers, laundry, Harbormaster office at S end of frontage lot
- Relocate Discovery Pier sign
- Remove Traverse Tall Ship Ticket Booth and Tent

## 9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site.

The project impacts are listed below:

**Traffic:** The Discovery Pier ‘park’ itself, recreational businesses (Manitou, Discovery, etc.) and educational programs and classes, and events will all increase traffic to an extent.

**Schools:** Our project and partners will provide space and educational programs to area schools. The Discovery Center currently partners with TBAISD and NMC. Efforts are underway to also partner with TCAPS and other area schools. Our partner, Inland Seas Education Association, provides programming to over 3,000 students from our site per year, including students from area schools with most of those students arriving by bus.

**Existing utilities:** Our project does include plans to increase our utilization of municipal sewer and water, primarily for restrooms, but also to provide these services to boats using the Pier. The electrical service for the site will be updated to accommodate proposed uses.

**Natural Environment on and adjacent to the site:** Most of the property is a man-made Pier that was constructed in the 1930’s and, there is little ‘natural environment’ present on the property. That said, two things are worth noting:

1. The Discovery Center and Pier was awarded a Clean Marina Certification last year that



recognizes marina operations that implement environmentally sound practices to protect water quality.

2. The toe stone along the sheet piling wall of the Pier and the new rip/rap along the west side of the basin provides excellent structure and habitat for fish and aquatic invertebrates.

**10. Total number of units, employees, bedrooms, offices, total usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with Ordinance.**

Units

N/A

Employees

- a. The Discovery Center has 2 FTE. Their offices are across the street in the old Family Video Building.
- b. Traverse Tall Ship Company typically employs 6 full-time and 2 part time employees in the summer that work on board the *Manitou* and in the ticket office.
- c. Maritime Heritage Alliance employs 1 FTE. Their offices are across the street.
- d. Inland Seas employs 9 FTE's. 2-3 work onboard their vessels at a time docked on the Pier.
- e. FishXTC employs 2 FTE in the summer the work on the charter fishing vessel docked at the Pier.

Bedrooms

N/A

Offices

There is a pre-existing ticket office on the Pier that is being moved from its former location on the SE corner of the Pier to the SW corner.

Recreation and Open Space

Fishing, picnicking, charter sailing and charter fishing

**13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels.**

Land Uses: Parkland to the north, vacant to the south

Zoning Classification: Shoreline Commerical

Existing Structures on subject parcel: portable ticket office and shed

Existing Structures on adjoining parcels: Pavilions, restrooms and playground equipment at park to the north; vacant to the south; Discovery Center campus across M22 to the west.



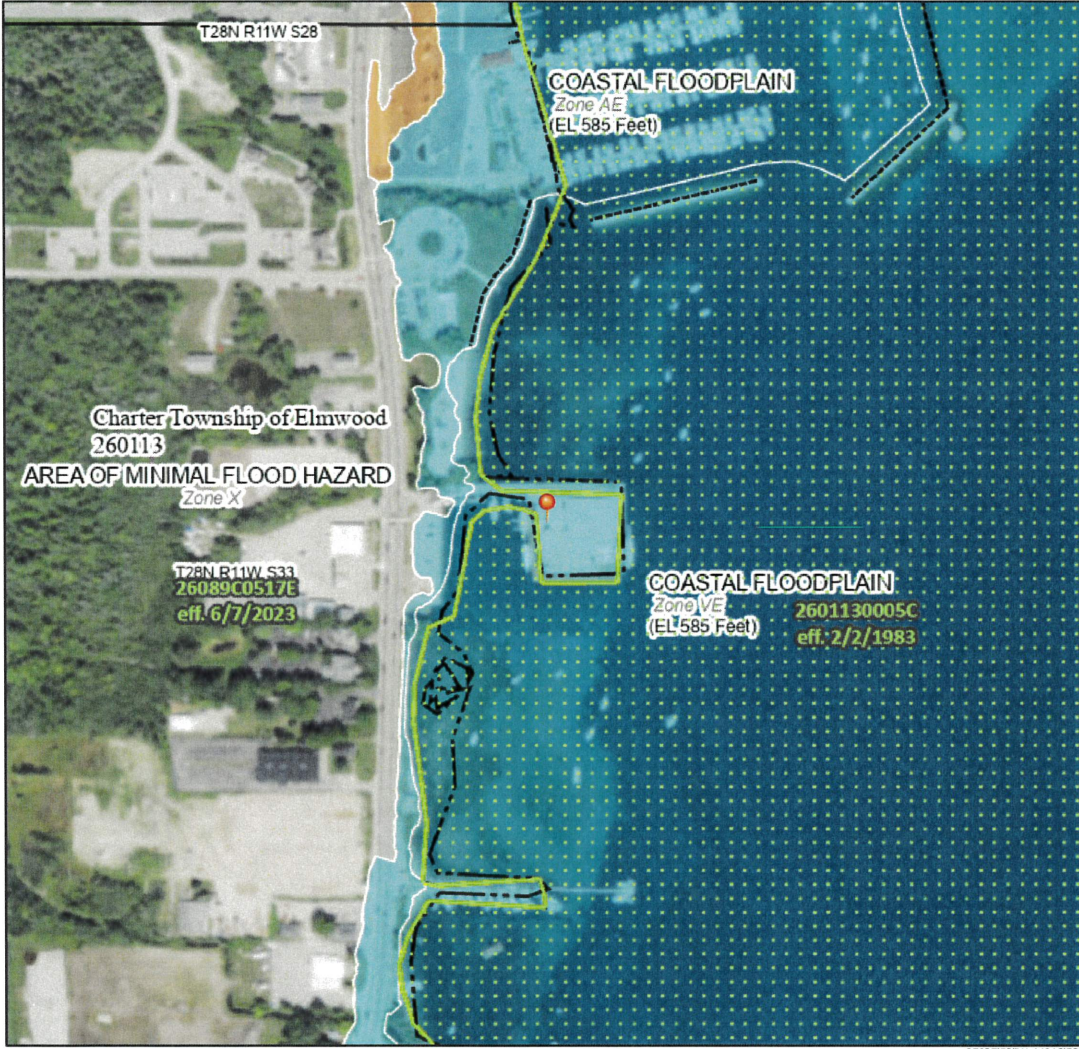


004-033-080-00	13272 S West-Bay Shore Dr	6.97	145'	<p>DEG 38'30" W 160.02 FT TH N 89 DEG 42'34" W 792.37 FT TH N 10 DEG 03'40" W 50.83 FT TO POB SEC 33 T28N R11W 2.27 A M/L</p> <p>PT GOVT LOTS 1 &amp; 2 SEC 33 COM N 1/4 COR SD SEC TH S 00 DEG 19'20" W 654.96 FT TH S 89 DEG 39'00" E 281.80 FT TH S 15 DEG 43'26" E 257.42 FT TH S 13 DEG 20'26" E 61.73 FT TO POB TH CONT S 13 DEG 20'26" E 670.74 FT TH S 89 DEG 39'26" E 258.04 FT TH N 10 DEG 03'40" W 103.31 FT TH S 89 DEG 37'45" E 868.97 FT TO SHR GRAND TRAVERSE BAY TH ALG SD SHR N 01 DEG 54'28" E 50.10 FT TH N 89 DEG 07'06" W 98.98 FT TH N 01 DEG 49'39" E 99.96 FT TH N 89 DEG 42'34" W 801.46 FT TH N 10 DEG 03'40" W 406.78 FT TH N 89 DEG 39'11" W 297.05 FT TO POB SUBJ TO ROW SEC 33 T28N R11W 6.97 A M/L</p>
004-033-079-00	13271 S West-Bay Shore Dr	0.70	202'	<p>PT GOVT LOTS 1 &amp; 2 SEC 33 COM N 1/4 COR SD SEC THE 1443.1 FT TH S 04 DEG 24' E 1173.37 FT TH S 89 DEG 41' E 73.64 FT TH S 02 DEG 10' W 100 FT TO POB TH S 85 DEG 48' E 19.13 FT TH N 75 DEG 24' E 127.73 FT TO SHR GRAND TRAVERSE BAY TH ALG SD SHR S 03 DEG 50' W 232.08 TH N 89 DEG 47' W 134.61 FT TO E ROW WEST-BAY SHORE DR (A/K/A HWY M-22) TH ALG SD ROW N 02 DEG 10' E 200.37 FT TO POB SEC 33 T28N R11W 0.7 A M/L</p>
004-033-078-00	13223 S West-Bay Shore Dr	1.58	92'	<p>PT GOVT LOT 1 N 1/2 OF NE 1/4 SEC 33 BEG N 1/4 COR SD SEC TH S 00 DEG 27' W 1313.33 FT TH S 89 DEG 41' E 767 FT TO W LINE WEST-BAY SHORE DR (A/K/A HWY M-22) TH S 2 DEG 10' W 150.28 FT TH S 89 DEG 47' E 66 FT TO E LINE SD HWY TH N 02 DEG 10' E 300.37 FT TO POB TH S 02 DEG 10' E 100 FT TH S 85 DEG 48' E 19.13 FT TH N 75 DEG 24' E 126.5 FT TO SHR GRAND TRAVERSE BAY TH NLY ALG SD SHR TO PT S 89 DEG 50' E OF BEG TH S 89 DEG 50' W TO POB ALSO FILLED LAKE MICHIGAN BOTTOMLAND ADJ &amp; CONT TO GOVT LOTS 1 &amp; 2 MORE FULLY DESCRIBED AS: COM N 1/4 COR SD SEC THE 1443.10 FT TH S 04 DEG 24' E 1173.37 FT TH S 89 DEG 41' E 73.64 FT TO SLY LN TWP PARK TH S 89 DEG 50' E 45 FT TO POB TH S 89 DEG 50' E 75.17 FT TH N 88 DEG 59' E 413.13 FT TH S 01 DEG 14' W 233.35 FT TH N 89 DEG 28' W 204.53 FT TH N 06 DEG 16' W 179.94 FT TH N 51 DEG 22' W 31.12 FT TH N 88 DEG 22' W 108 FT TH S 58 DEG 21' W 36.48 FT TH S 03 DEG 50' W 27 FT TH S 75 DEG 24' W 127.73 FT TH N 11 DEG 34' E 105.47 FT TO POB ALSO ALL SIMILAR FILLED LAND BETWEEN &amp; OPPOSITE WLY LN ABOVE &amp; LOTS 1 &amp; 2 ABOVE SEC 33 T28N R11W 1.58 A M/L</p>

# National Flood Hazard Layer FIRMette



85°38'29"W 44°47'23"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

85°37'52"W 44°46'58"N

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |   |
|------------------------------------|---|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black; margin-right: 5px;"></span> Without Base Flood Elevation (BFE)<br/><i>Zone A, V, A99</i></li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #e0f0ff; border: 1px solid black; margin-right: 5px;"></span> With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i></li> <li><span style="display: inline-block; width: 15px; height: 10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, red 2px, red 4px); border: 1px solid black; margin-right: 5px;"></span> Regulatory Floodway</li> </ul>   |
| <b>OTHER AREAS OF FLOOD HAZARD</b> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #f4a460; border: 1px solid black; margin-right: 5px;"></span> 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i></li> <li><span style="display: inline-block; width: 15px; height: 10px; background: repeating-linear-gradient(-45deg, transparent, transparent 2px, gray 2px, gray 4px); border: 1px solid black; margin-right: 5px;"></span> Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i></li> <li><span style="display: inline-block; width: 15px; height: 10px; background: repeating-linear-gradient(-45deg, transparent, transparent 2px, gray 2px, gray 4px); border: 1px solid black; margin-right: 5px;"></span> Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i></li> <li><span style="display: inline-block; width: 15px; height: 10px; background: repeating-linear-gradient(-45deg, transparent, transparent 2px, gray 2px, gray 4px); border: 1px solid black; margin-right: 5px;"></span> Area with Flood Risk due to Levee <i>Zone D</i></li> </ul> |
| <b>OTHER AREAS</b>                 | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #e0f0ff; border: 1px solid black; margin-right: 5px;"></span> No SCREEN Area of Minimal Flood Hazard <i>Zone X</i></li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #e0f0ff; border: 2px solid blue; margin-right: 5px;"></span> Effective LOMRs</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #fff9c4; border: 1px solid black; margin-right: 5px;"></span> Area of Undetermined Flood Hazard <i>Zone D</i></li> </ul>  |
| <b>GENERAL STRUCTURES</b>          | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed black; margin-right: 5px;"></span> Channel, Culvert, or Storm Sewer</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed gray; margin-right: 5px;"></span> Levee, Dike, or Floodwall</li> </ul>  |
| <b>OTHER FEATURES</b>              | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid black; margin-right: 5px;"></span> 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed black; margin-right: 5px;"></span> 17.5 Coastal Transect</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dotted black; margin-right: 5px;"></span> Base Flood Elevation Line (BFE)</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid red; margin-right: 5px;"></span> Limit of Study</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid yellow; margin-right: 5px;"></span> Jurisdiction Boundary</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed black; margin-right: 5px;"></span> Coastal Transect Baseline</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid blue; margin-right: 5px;"></span> Profile Baseline</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid blue; margin-right: 5px;"></span> Hydrographic Feature</li> </ul> |
| <b>MAP PANELS</b>                  | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid green; margin-right: 5px;"></span> Digital Data Available</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid gray; margin-right: 5px;"></span> No Digital Data Available</li> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid gray; margin-right: 5px;"></span> Unmapped</li> </ul>   |
- 
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

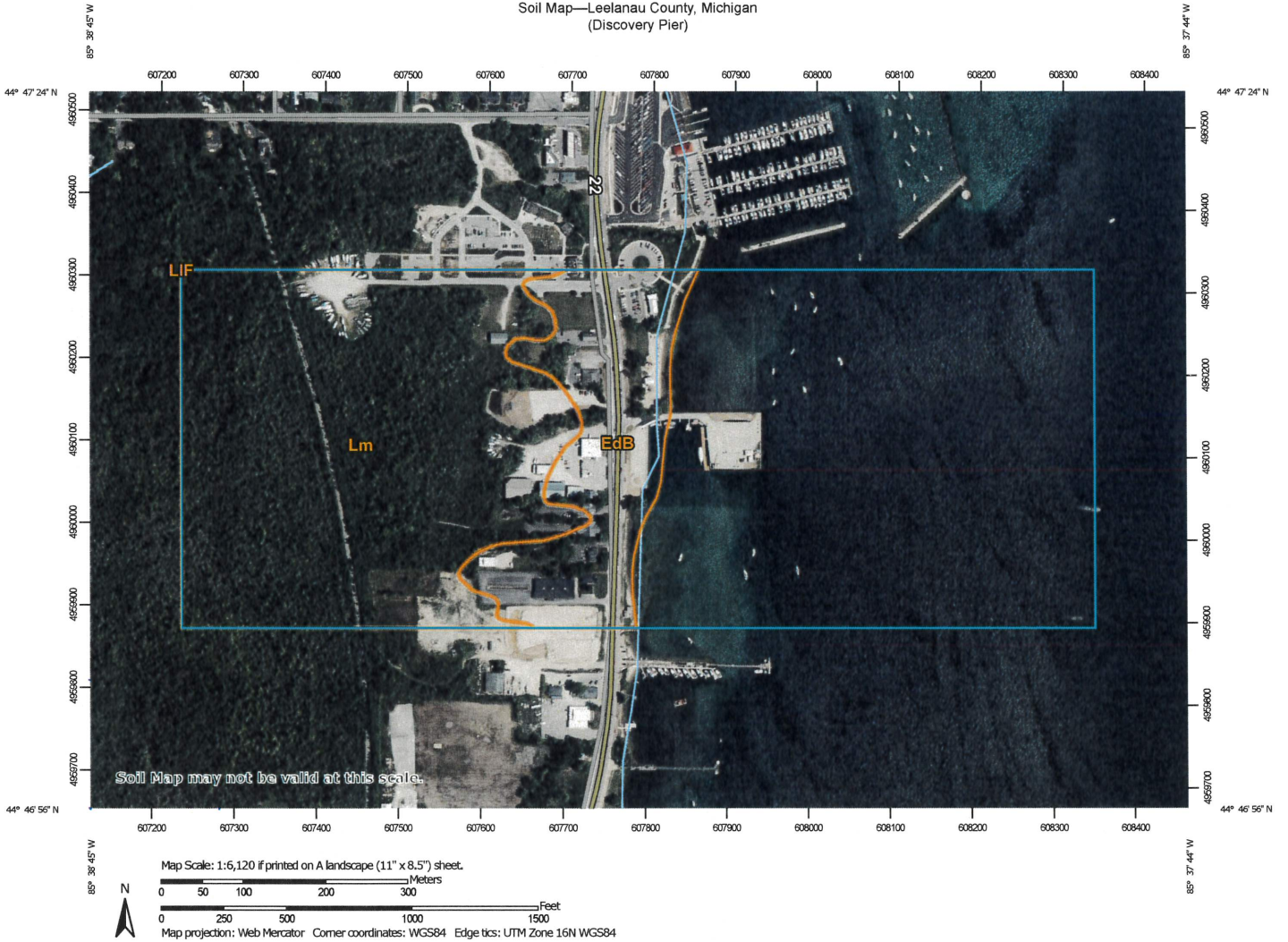
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/21/2024 at 3:18 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.







































Soil Map—Leelanau County, Michigan  
(Discovery Pier)



Soil Map—Leelanau County, Michigan  
(Discovery Pier)

**MAP LEGEND**

- |  |   |
|--|---|
| <b>Area of Interest (AOI)</b>  |  Spoil Area            |
|  Area of Interest (AOI) |  Stony Spot            |
| <b>Soils</b>   |  Very Stony Spot       |
|  Soil Map Unit Polygons |  Wet Spot              |
|  Soil Map Unit Lines    |  Other                 |
|  Soil Map Unit Points   |  Special Line Features |
| <b>Special Point Features</b>  | <b>Water Features</b>   |
|  Blowout                |  Streams and Canals    |
|  Borrow Pit             | <b>Transportation</b>   |
|  Clay Spot              |  Rails                 |
|  Closed Depression      |  Interstate Highways   |
|  Gravel Pit            |  US Routes            |
|  Gravelly Spot        |  Major Roads         |
|  Landfill             |  Local Roads         |
|  Lava Flow            | <b>Background</b>   |
|  Marsh or swamp       |  Aerial Photography  |
|  Mine or Quarry       |   |
|  Miscellaneous Water  |   |
|  Perennial Water      |   |
|  Rock Outcrop         |   |
|  Saline Spot          |   |
|  Sandy Spot           |   |
|  Severely Eroded Spot |   |
|  Sinkhole             |   |
|  Slide or Slip        |   |
|  Sodic Spot           |   |

**MAP INFORMATION**

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Leelanau County, Michigan  
Survey Area Data: Version 17, Aug 25, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 2, 2020—Nov 12, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
EdB	Eastport sand, 0 to 6 percent slopes	16.2	13.5%
LIF	Leelanau-East Lake loamy sands, 25 to 45 percent slopes	0.0	0.0%
Lm	Lupton-Markey mucks	46.6	38.8%
<b>Totals for Area of Interest</b>		<b>120.2</b>	<b>100.0%</b>





GRETCHEN WHITMER  
GOVERNOR

STATE OF MICHIGAN  
DEPARTMENT OF  
ENVIRONMENT, GREAT LAKES, AND ENERGY  
CADILLAC DISTRICT OFFICE



PHILLIP D. ROOS  
DIRECTOR

February 27, 2024

VIA EMAIL

Discovery Center - Great Lakes  
c/o Matthew McDonough  
13170 S West Bay Shore Drive  
Traverse City, Michigan 49684

Dear Matthew McDonough:

SUBJECT: Permit Revision - WRP017353 v1.2  
Project Location: 13271 S West Bay Shore Drive, Traverse City, Michigan  
T28N, R11W, Section 33; Elmwood Township, Leelanau County

We received your revision request on December 13, 2023, for work authorized by Department of Environment, Great Lakes and Energy (EGLE) Permit Number WRP017353, reviewed under the authority of Part 325, Great Lakes Submerged Lands, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (Part 325).

This letter authorizes revision of your EGLE Permit Number WRP017353 to construct two (2) jib cranes and support platforms, access stair, floating access platform and utility bridge, 18 piles to support the wave attenuator, fixed gangway platform, extend and reconfigure four (4) docks, install spring piles, piles and clusters along the 65-foot long dock within the marina, install 34 guide piles along permitted docks, floating access platform, kayak chute, two (2) 20-foot by 8-foot floating dock sections at Discovery Center – Great Lakes marina at the above-referenced location, as shown on the enclosed plans dated February 27, 2024.

You are reminded that all conditions as set forth in the original permit remain in full force. This letter must be attached to your permit and kept at the site of the work, available for inspection at all times during the duration of the project or until the date of expiration. This revision does not obviate the need for other federal, state, and/or local permits as may be required by law.

If you have any questions regarding this letter, please contact me at 231-383-5952 or SCHMIDTR1@michigan.gov. Please include your Permit Number WRP017353 v1.2, in your response. If you need this information in an alternate format, contact EGLE-Accessibility@Michigan.gov or call 800-662-9278.

Sincerely,

Robyn L Schmidt

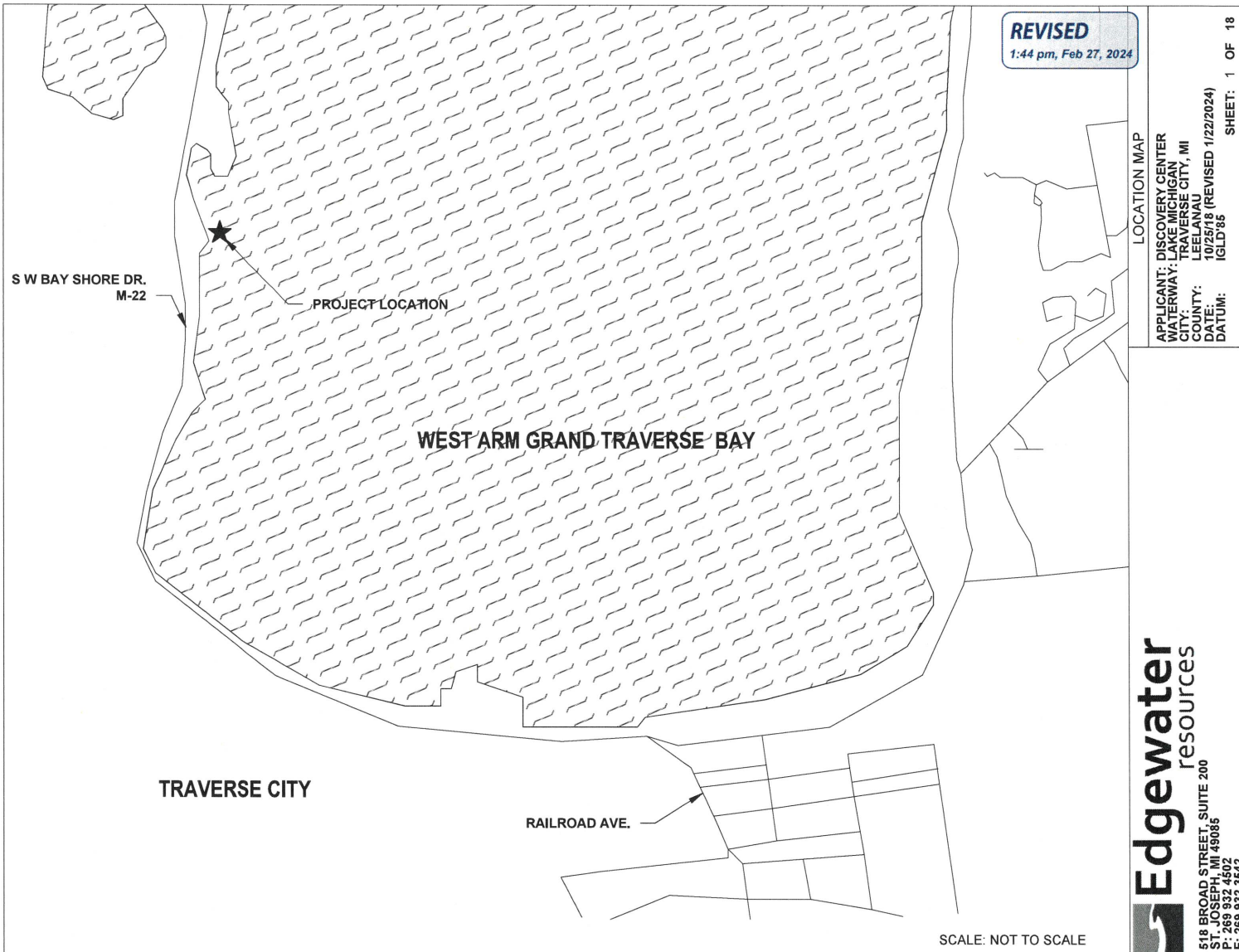
Digitally signed by: Robyn L Schmidt  
DN: CN = Robyn L Schmidt email =  
SCHMIDTR1@michigan.gov C = US O = Michigan  
Department of Environment, Great Lakes and Energy  
OU = Water Resources Division  
Date: 2024.02.27 13:47:47 -0500

Robyn Schmidt  
Cadillac District Office  
Water Resources Division

Enclosure  
cc/enc: Stephen Kozelko

Discovery Center – Great Lakes  
Page 2 of 20  
February 27, 2024

David Darga  
Colin Hassenger, Edgewater Resources  
Elmwood Township Clerk  
Leelanau County SESC  
Leelanau County Department of Building Safety  
Benzie-Leelanau District Health Department  
MDOT, Traverse City Service Center  
April Champion, USACE, Detroit (LRE-1977-560070-S18)  
Chris Antieau, EGLE, Lansing



**REVISED**  
1:44 pm, Feb 27, 2024

**LOCATION MAP**

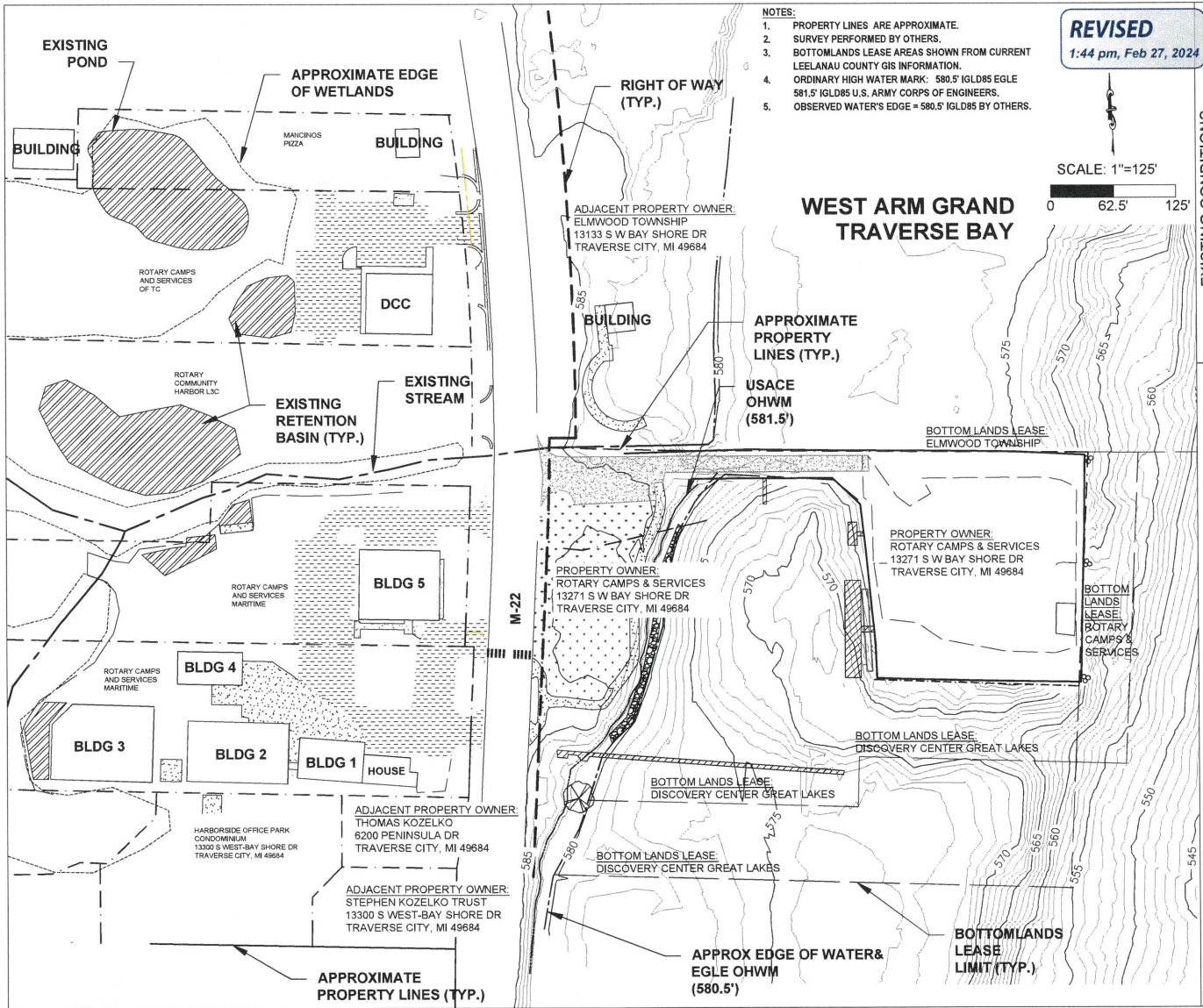
APPLICANT: DISCOVERY CENTER  
 WATERWAY: LAKE MICHIGAN  
 CITY: TRAVERSE CITY, MI  
 COUNTY: LEECLANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

SHEET: 1 OF 18

**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
 TRAVERSE CITY, MI 49606  
 P: 231.932.1602  
 F: 268.932.3542

SCALE: NOT TO SCALE



- NOTES:
1. PROPERTY LINES ARE APPROXIMATE.
  2. SURVEY PERFORMED BY OTHERS.
  3. BOTTOMLANDS LEASE AREAS SHOWN FROM CURRENT LEEANAU COUNTY GIS INFORMATION.
  4. ORDINARY HIGH WATER MARK: 580.5' IGLD85 EGLE 581.5' IGLD85 U.S. ARMY CORPS OF ENGINEERS.
  5. OBSERVED WATER'S EDGE = 580.5' IGLD85 BY OTHERS.

**REVISED**  
1:44 pm, Feb 27, 2024

SCALE: 1"=125'  
0 62.5' 125'

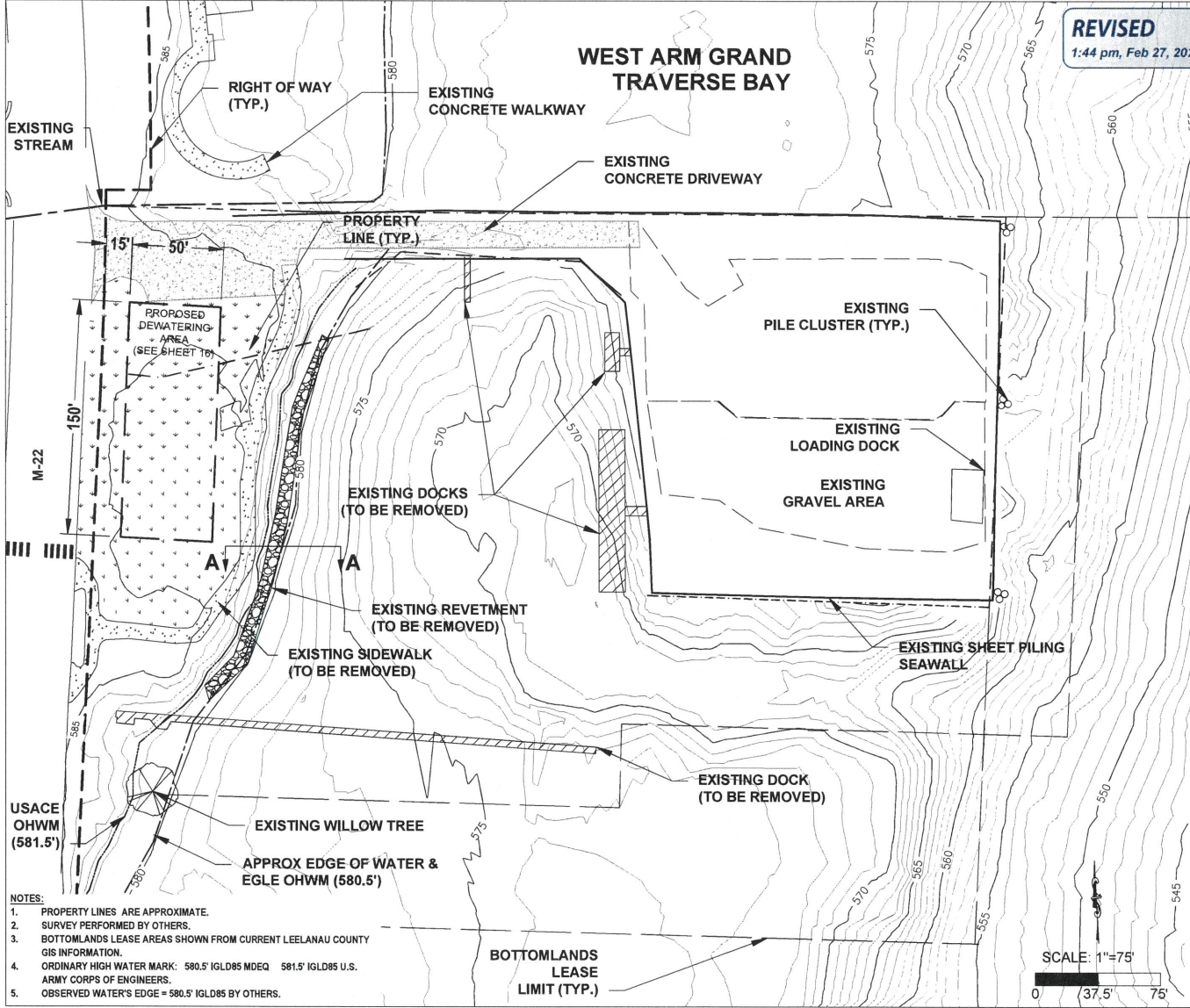
EXISTING CONDITIONS

APPLICANT: DISCOVERY CENTER  
 WATERWAY: LAKE MICHIGAN  
 PROJECT: LEELANAU  
 COUNTY: LEELANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

SHEET: 2 OF 18

**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49085  
 P: 269 932 4502  
 F: 269 932 3542



**REVISED**  
1:44 pm, Feb 27, 2024

**EXISTING SITE CONDITIONS**  
 APPLICANT: DISCOVERY CENTER  
 PROJECT: M-22  
 CITY: TRAVERSE CITY, MI  
 COUNTY: LEELANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

SHEET: 3 OF 18

- NOTES:**
1. PROPERTY LINES ARE APPROXIMATE.
  2. SURVEY PERFORMED BY OTHERS.
  3. BOTTOMLANDS LEASE AREAS SHOWN FROM CURRENT LEELANAU COUNTY GIS INFORMATION.
  4. ORDINARY HIGH WATER MARK: 580.5' IGLD85 MDEQ 581.5' IGLD85 U.S. ARMY CORPS OF ENGINEERS.
  5. OBSERVED WATER'S EDGE = 580.5' IGLD85 BY OTHERS.

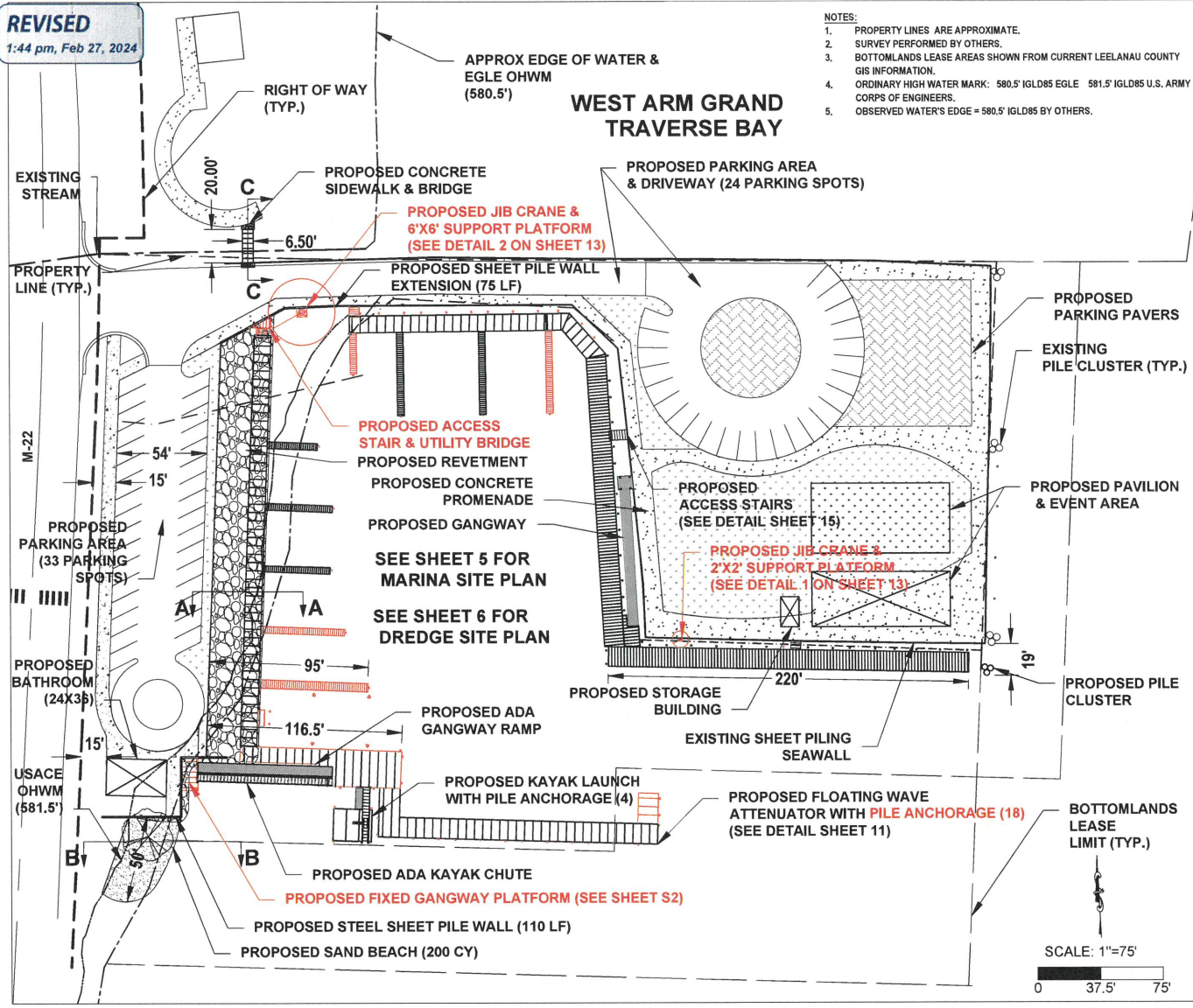
**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49085  
 T: 269.332.8842  
 F: 269.332.8842

**REVISED**  
1:44 pm, Feb 27, 2024

### WEST ARM GRAND TRAVERSE BAY

- NOTES:**
1. PROPERTY LINES ARE APPROXIMATE.
  2. SURVEY PERFORMED BY OTHERS.
  3. BOTTOMLANDS LEASE AREAS SHOWN FROM CURRENT LEELANAU COUNTY GIS INFORMATION.
  4. ORDINARY HIGH WATER MARK: 580.5' IGLD85 EGLE 581.5' IGLD85 U.S. ARMY CORPS OF ENGINEERS.
  5. OBSERVED WATER'S EDGE = 580.5' IGLD85 BY OTHERS.

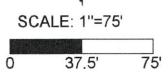


OVERALL PROPOSED SITE PLAN

APPLICANT: DISCOVERY CENTER  
 WATERWAY: LAKE MICHIGAN  
 CITY: TRAVERSE CITY, MI  
 COUNTY: LEELANAU  
 DATE: 1/22/2024  
 DATUM: IGLD85  
 SHEET: 4 OF 18

**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49085  
 P: 269 932 4502  
 F: 269 932 3542



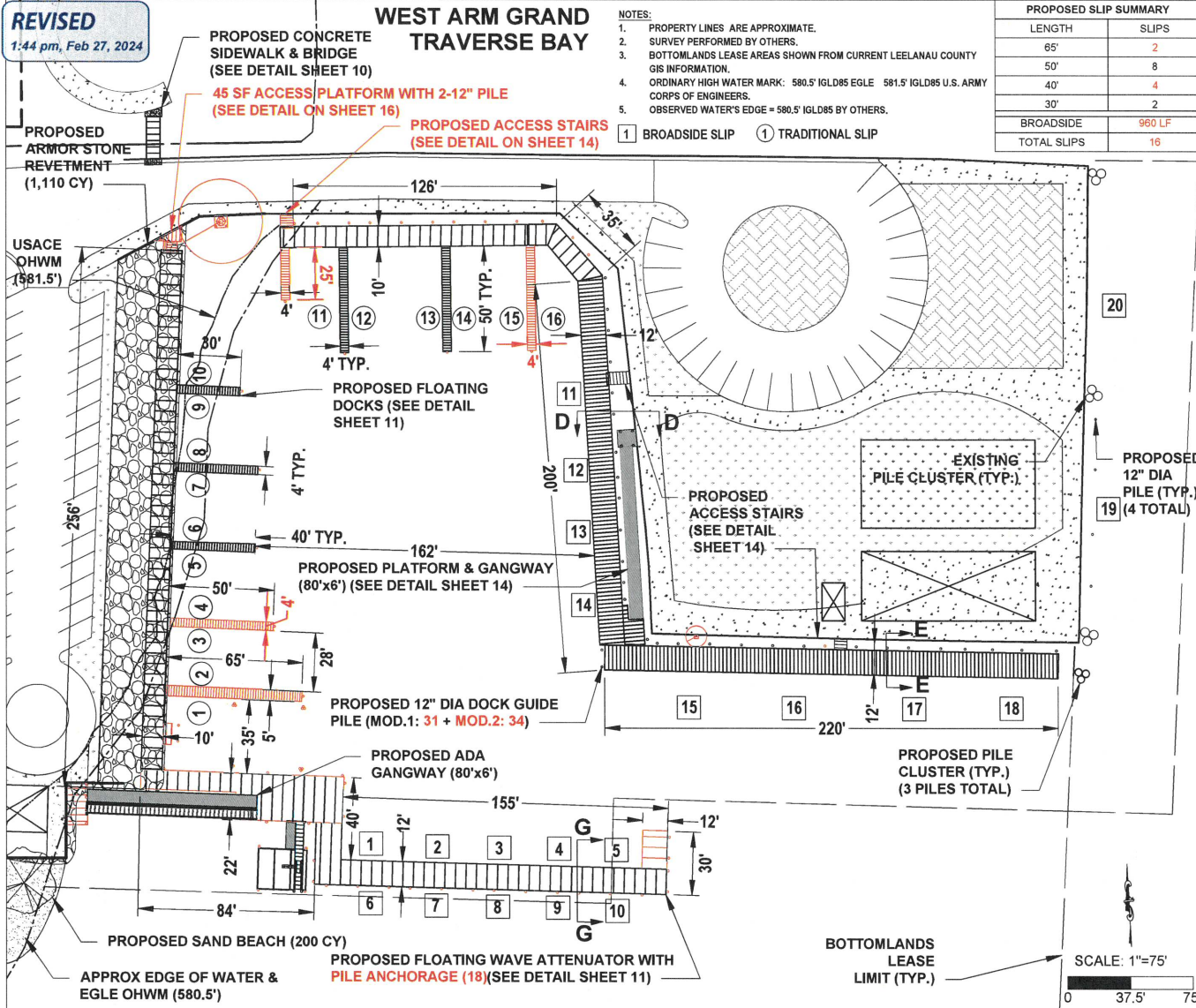


**REVISED**  
1:44 pm, Feb 27, 2024

### WEST ARM GRAND TRAVERSE BAY

- NOTES:**
- PROPERTY LINES ARE APPROXIMATE.
  - SURVEY PERFORMED BY OTHERS.
  - BOTTOMLANDS LEASE AREAS SHOWN FROM CURRENT LEELANAU COUNTY GIS INFORMATION.
  - ORDINARY HIGH WATER MARK: 580.5' IGLD85 EGLE 581.5' IGLD85 U.S. ARMY CORPS OF ENGINEERS.
  - OBSERVED WATER'S EDGE = 580.5' IGLD85 BY OTHERS.
- ① BROADSIDE SLIP    ① TRADITIONAL SLIP

PROPOSED SLIP SUMMARY	
LENGTH	SLIPS
65'	2
50'	8
40'	4
30'	2
<b>BROADSIDE</b>	<b>960 LF</b>
<b>TOTAL SLIPS</b>	<b>16</b>



**PROPOSED MARINA SITE PLAN**

APPLICANT: DISCOVERY CENTER  
 WATERWAY: GRAND TRAVERSE BAY  
 CITY: TRAVERSE CITY, MI  
 COUNTY: LEELANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

SHEET: 5 OF 18

**Edgewater** resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49086  
 T: 269.932.4542  
 F: 269.932.3542

**REVISED**

1:44 pm, Feb 27, 2024

**PROPOSED  
EXCAVATION AREA  
(3,400 CY)**

**USACE  
OHWM  
(581.5')**

LWD -6'

**EGLE  
OHWM  
(580.5')**

LWD -6'

LWD -10'

LWD -10'

LWD -6'

LWD -8'

LWD -10'

**PROPOSED  
TURBIDITY CURTAIN  
(670 LF)**

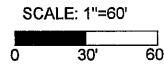
**PROPOSED  
DREDGE AREA  
(19,200 CY)**

**PROPOSED DREDGE  
DEPTH (TYP.)**

LWD -10'

**NOTES:**

1. PROPERTY LINES ARE APPROXIMATE.
2. SURVEY PERFORMED BY OTHERS.
3. BOTTOMLANDS LEASE AREAS SHOWN FROM CURRENT LEELELANAU COUNTY GIS INFORMATION.
4. ORDINARY HIGH WATER MARK: 580.5' IGLD85 EGLE 581.5' IGLD85 U.S. ARMY CORPS OF ENGINEERS.
5. OBSERVED WATER'S EDGE = 580.5' IGLD85 BY OTHERS.



**DREDGE SITE PLAN**

APPLICANT: DISCOVERY CENTER  
 CITY: TRAVERSE CITY  
 COUNTY: LEELELANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49085  
 P: 268 932 4602  
 F: 268 932 3642

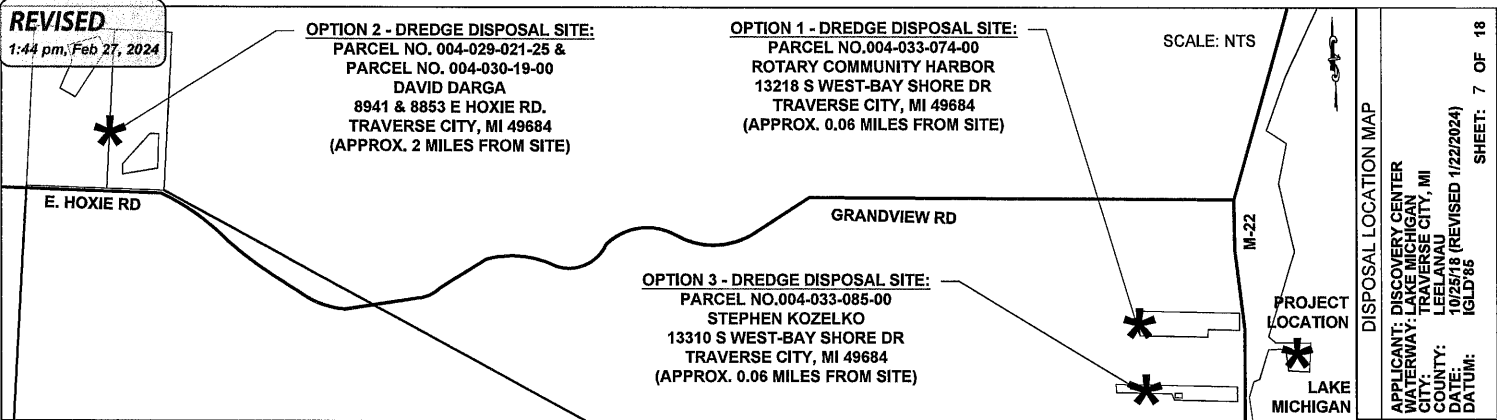
**REVISED**  
1:44 pm, Feb 27, 2024

**OPTION 2 - DREDGE DISPOSAL SITE:**  
PARCEL NO. 004-029-021-25 &  
PARCEL NO. 004-030-19-00  
DAVID DARGA  
8941 & 8853 E HOXIE RD.  
TRAVERSE CITY, MI 49684  
(APPROX. 2 MILES FROM SITE)

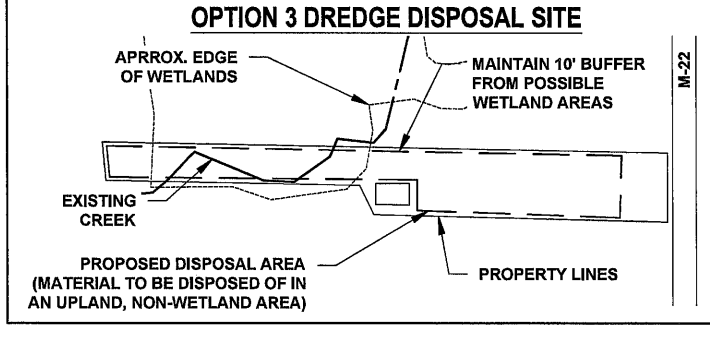
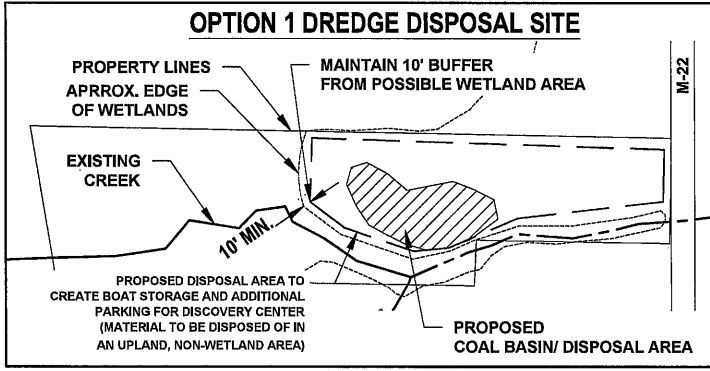
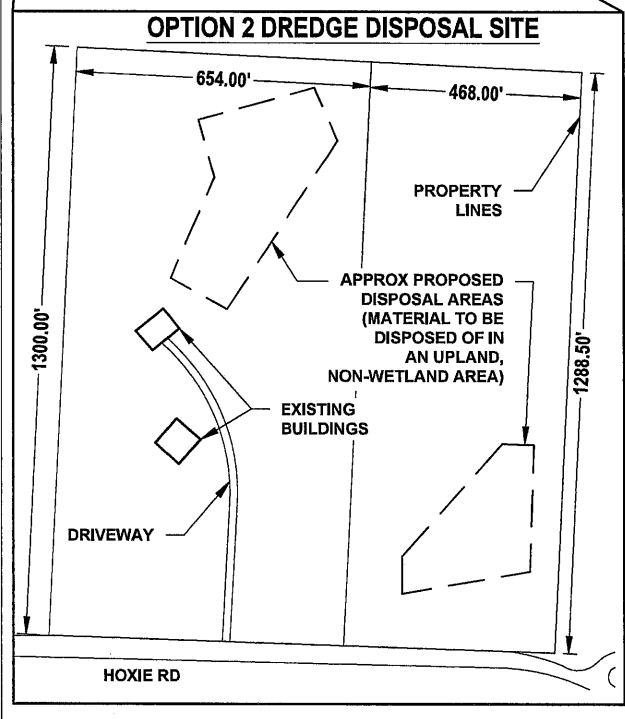
**OPTION 1 - DREDGE DISPOSAL SITE:**  
PARCEL NO. 004-033-074-00  
ROTARY COMMUNITY HARBOR  
13218 S WEST-BAY SHORE DR  
TRAVERSE CITY, MI 49684  
(APPROX. 0.06 MILES FROM SITE)

**OPTION 3 - DREDGE DISPOSAL SITE:**  
PARCEL NO. 004-033-085-00  
STEPHEN KOZELKO  
13310 S WEST-BAY SHORE DR  
TRAVERSE CITY, MI 49684  
(APPROX. 0.06 MILES FROM SITE)

SCALE: NTS



**DISPOSAL LOCATION MAP**  
APPLICANT: DISCOVERY CENTER  
MATERIAL: DISC MICHIGAN  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85  
SHEET: 7 OF 18

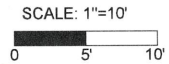
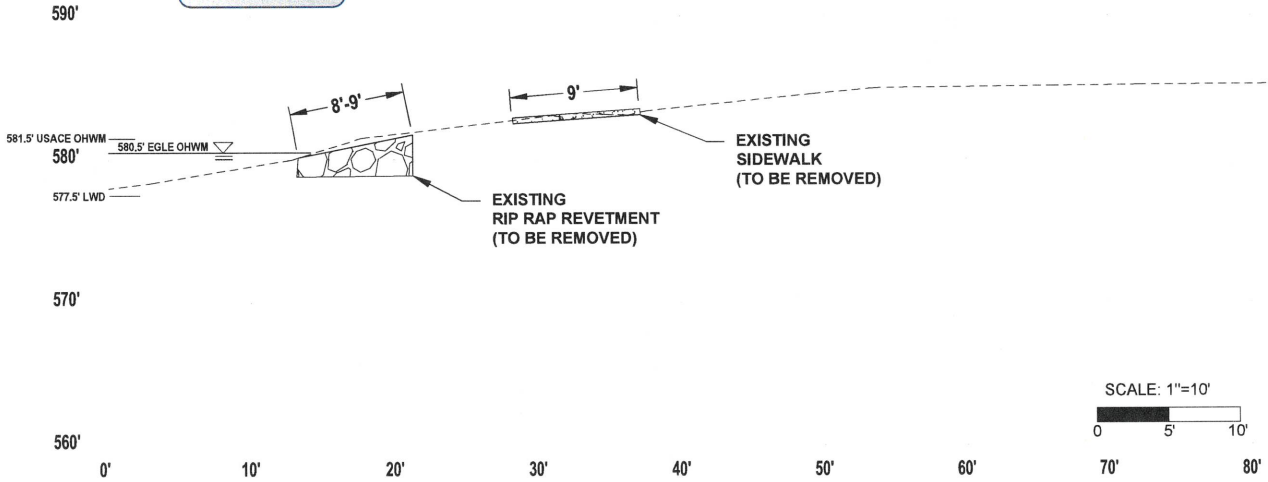


**Edgewater** resources  
518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49086  
P: 269 832 5542  
F: 269 832 3542

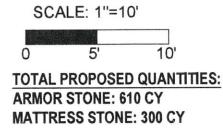
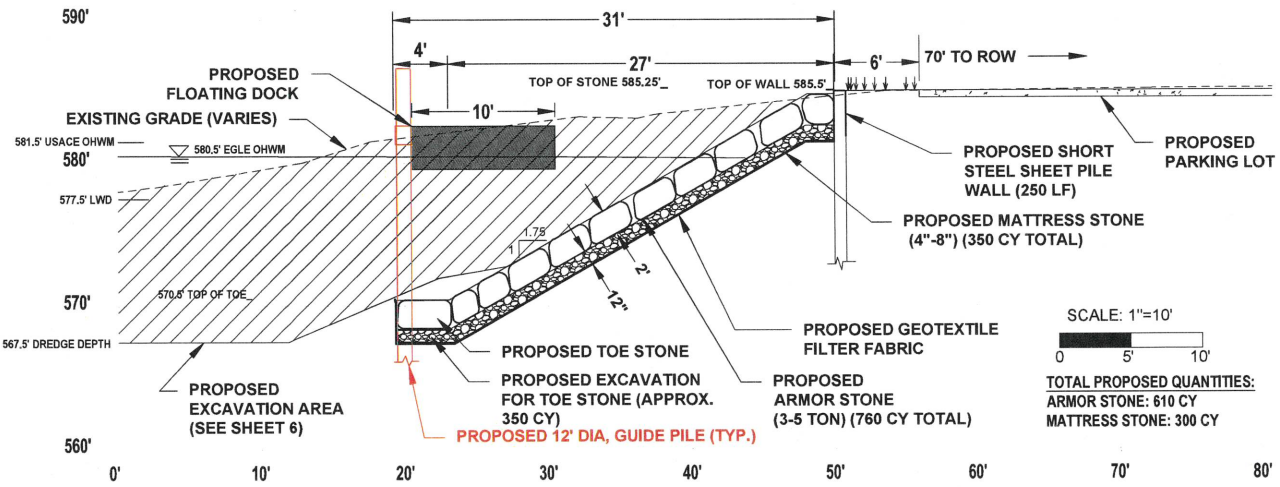
NOTES:  
1. VERTICAL DATUM IS IGLD 85.

**REVISED**  
1:44 pm, Feb 27, 2024

**EXISTING CONDITIONS SECTION A-A**



**PROPOSED SECTION A-A**



SECTIONS A-A

APPLICANT: DISCOVERY CENTER  
WATERWAY: LAKE MICHIGAN  
CITY: LEANSIE  
COUNTY: LEANSIE  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD 85

SHEET: 8 OF 18

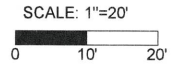
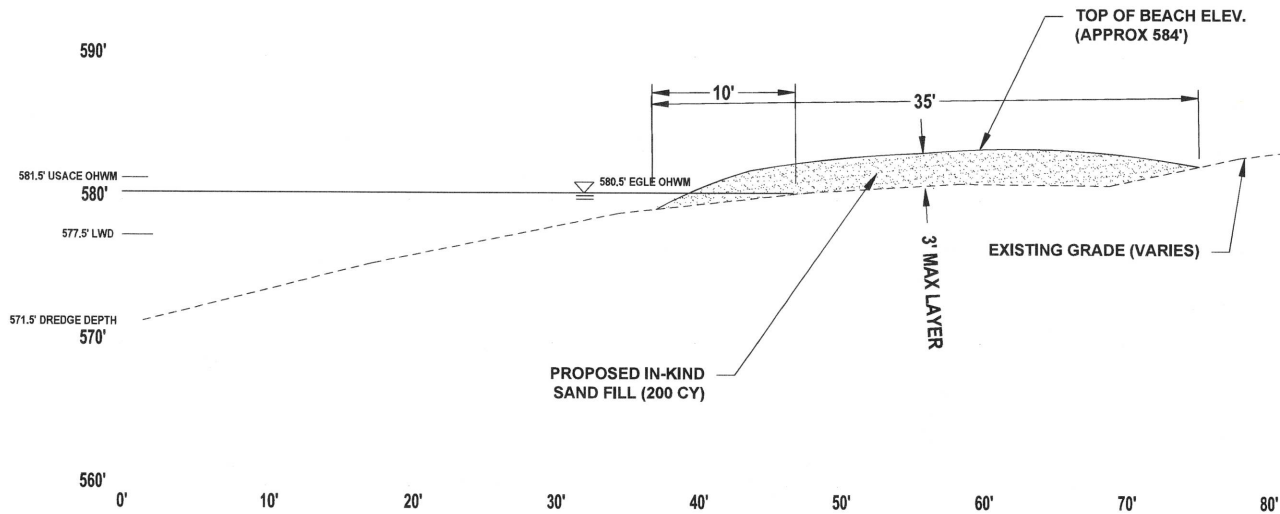
**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49085  
P: 269 932 4502  
F: 269 932 3542

NOTES:  
1. VERTICAL DATUM IS IGLD 85.

**REVISED**  
1:44 pm, Feb 27, 2024

### PROPOSED SECTION B-B



TOTAL PROPOSED QUANTITIES:  
SAND FILL: 200 CY

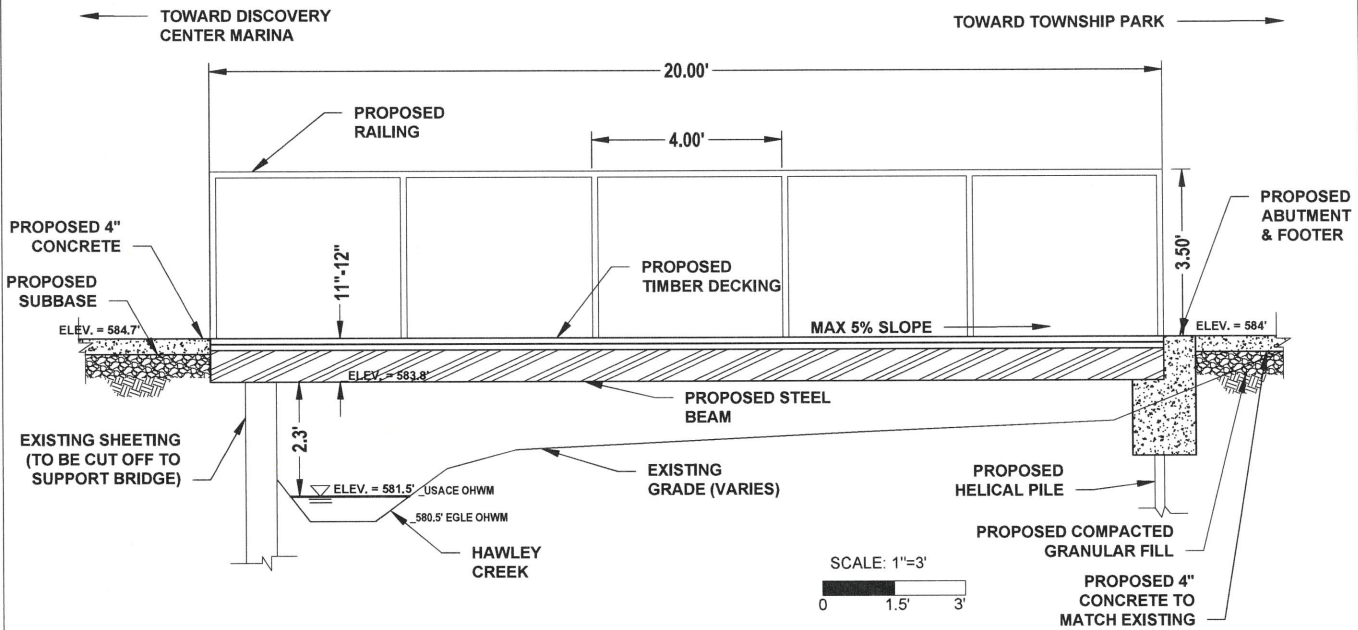
SECTION B-B  
APPLICANT: DISCOVERY CENTER  
WATERWAY: LAKE MICHIGAN  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85  
SHEET: 9 OF 18

**Edgewater**  
resources  
518 BROAD STREET, SUITE 200  
TRAVERSE CITY, MI 49606  
P: 269 932 4502  
F: 269 932 3542

**REVISED**

1:44 pm, Feb 27, 2024

### PROPOSED SECTION C-C PEDESTRIAN BRIDGE



SECTION C-C

APPLICANT: DISCOVERY CENTER  
PROJECT: TRAVELWAY  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85

SHEET: 10 OF 18

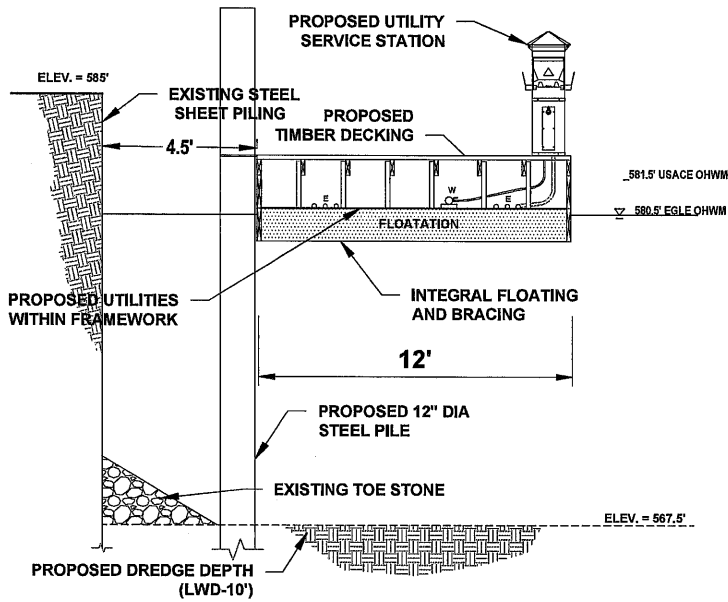
**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49085  
P: 269 932 4502  
F: 269 932 3542

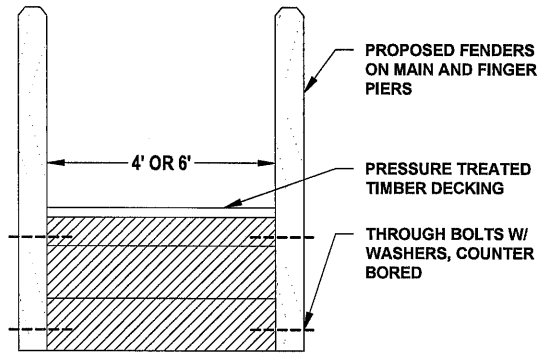
NOT TO SCALE

**REVISED**  
1:44 pm, Feb 27, 2024

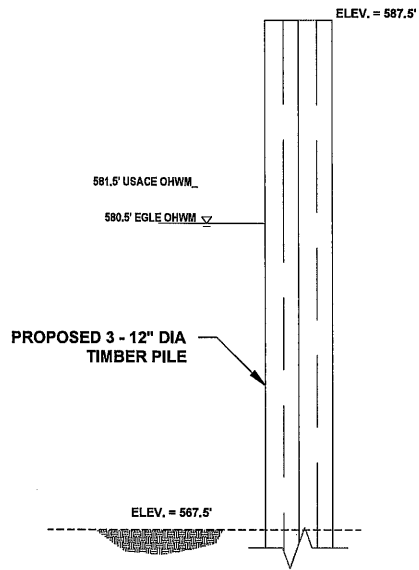
**SECTION D-D FLOATING PIER W/ UTILITIES**



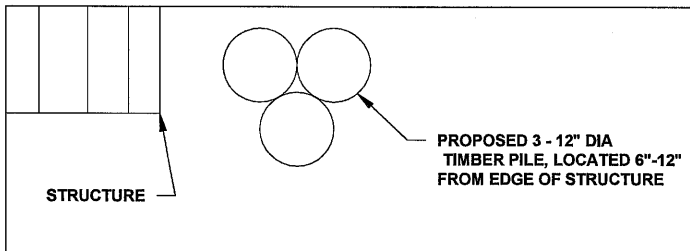
**TYPICAL FLOATING FINGER PIER**



**TYPICAL PILE CLUSTER**



**TYPICAL PILE CLUSTER-PLAN VIEW**



SECTION D-D & MARINA DETAILS

APPLICANT: DISCOVERY CENTER  
WATERWAY: LAKE MICHIGAN  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85

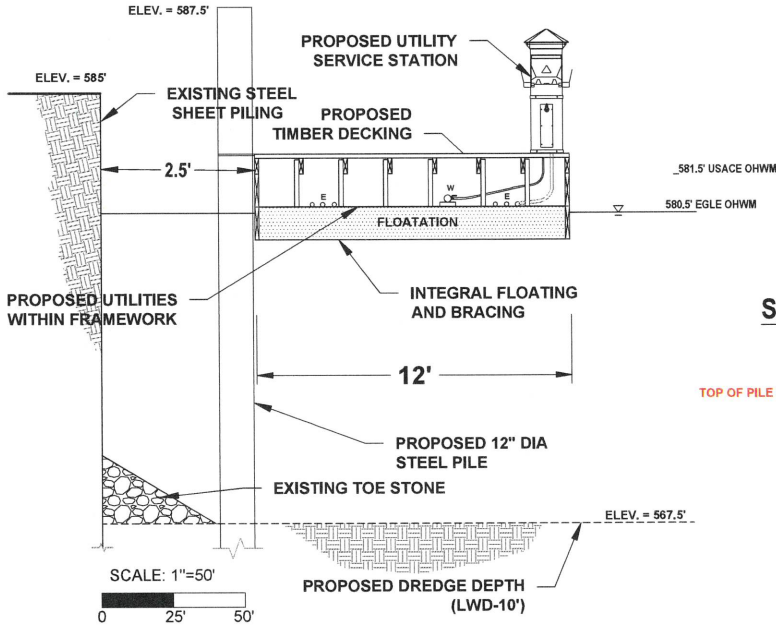
SHEET: 11 OF 18

**Edgewater**  
resources

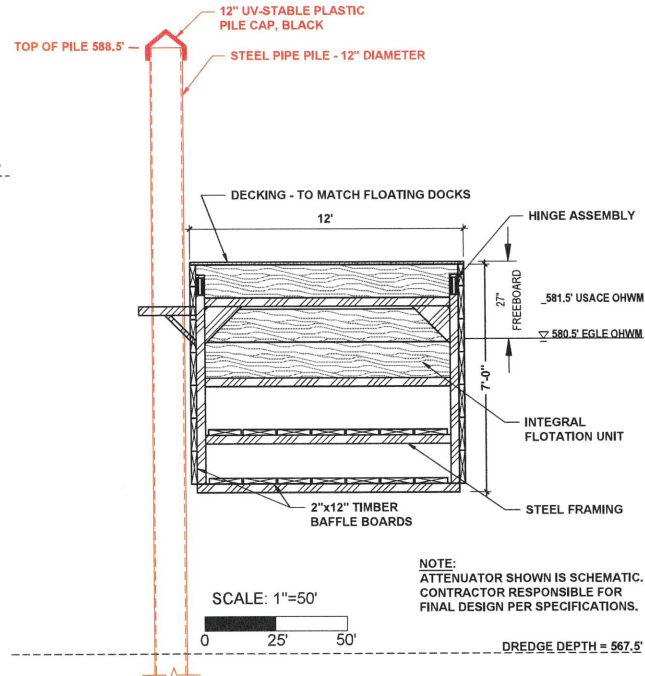
518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49086  
P: 269 832 4502  
F: 269 832 3542

### SECTION E-E FLOATING PIER W/ UTILITIES

**REVISED**  
1:44 pm, Feb 27, 2024



### SECTION G-G FLOATING WAVE ATTENUATOR



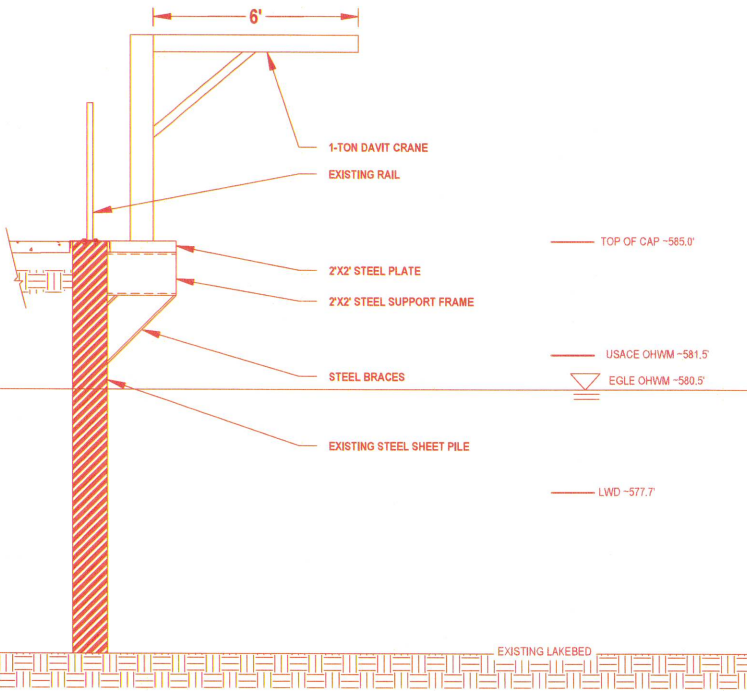
NOTE:  
ATTENUATOR SHOWN IS SCHEMATIC.  
CONTRACTOR RESPONSIBLE FOR  
FINAL DESIGN PER SPECIFICATIONS.

SECTIONS E-E  
APPLICANT: DISCOVERY CENTER  
ADDRESS: 518 BROAD STREET, SUITE 200  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85  
SHEET: 12 OF 18

**Edgewater**  
resources  
518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49085  
P: 269 932 4502  
F: 269 932 3542



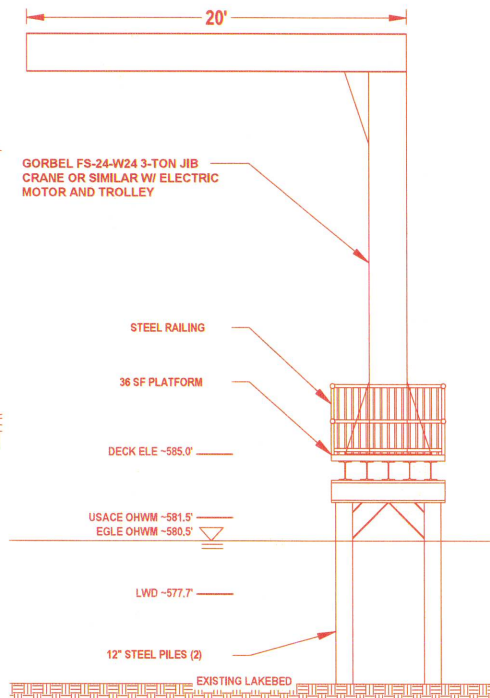
SCALE: 1"=50'



**1 EAST JIB CRANE DETAIL**

**REVISED**  
1:44 pm, Feb 27, 2024

SCALE: 1"=75'



**2 WEST JIB CRANE DETAIL**

JIB CRANE DETAILS

APPLICANT: DISCOVERY CENTER  
WATERWAY: LAKE MICHIGAN  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85

SHEET: 13 OF 18

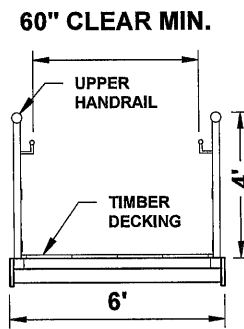
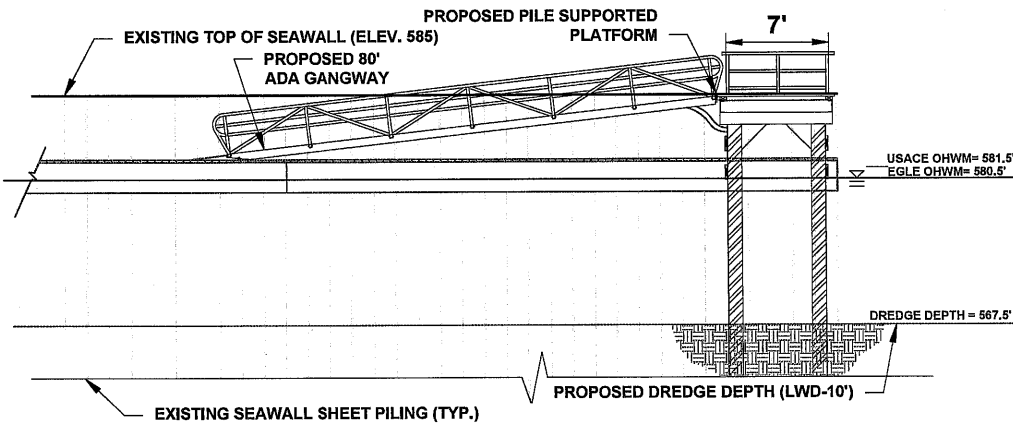
**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49086  
P: 269 932 4502  
F: 269 932 3542

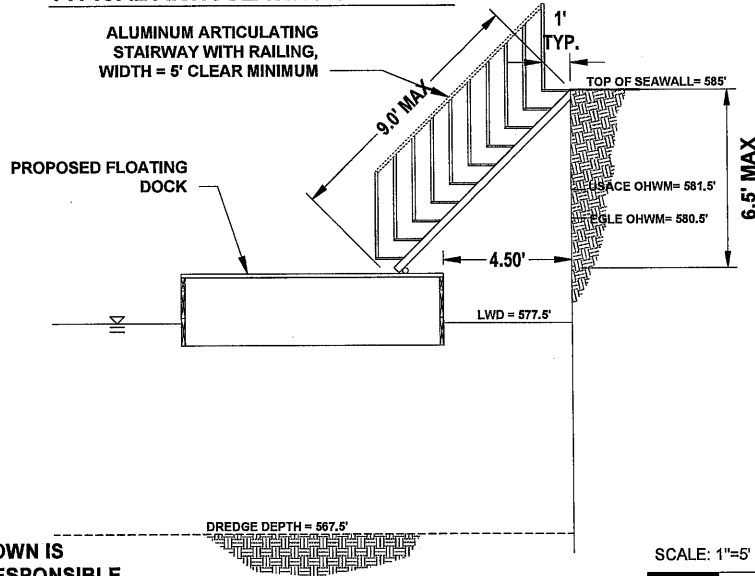
**REVISED**  
1:44 pm, Feb 27, 2024

**TYPICAL PILE SUPPORTED GANGWAY PLATFORM**

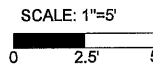
**TYPICAL ADA GANGWAY RAMP**



**TYPICAL ARTICULATING STAIRWAY**



**NOTE:**  
ARTICULATING STAIRWAY SHOWN IS SCHEMATIC. CONTRACTOR RESPONSIBLE FOR FINAL DESIGN PER SPECIFICATIONS.



GANGWAY & STAIR DETAIL

APPLICANT: DISCOVERY CENTER  
PROJECT: LEELANAU  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85

SHEET: 14 OF 18

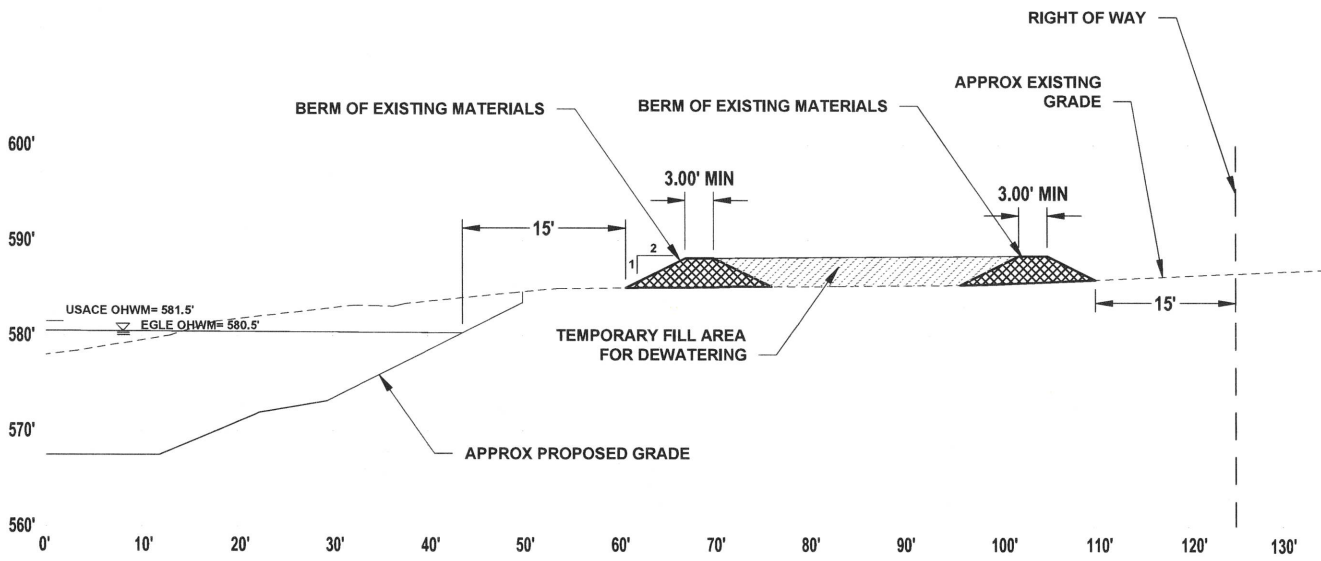
**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49086  
P: 268 932 4502  
F: 268 932 3542

NOT TO SCALE

**REVISED**  
1:44 pm, Feb 27, 2024

### TYPICAL BERM DREDGE DEWATERING SECTION



**NOTE:**  
BERM DEWATERING METHOD SHOWN IS SCHEMATIC. CONTRACTOR RESPONSIBLE FOR FINAL DESIGN PER SPECIFICATIONS.

DEWATERING DETAIL

APPLICANT: DISCOVERY CENTER  
WATERWAY: LAKE MICHIGAN  
CITY: TRAVERSE CITY, MI  
COUNTY: LEELANAU  
DATE: 10/25/18 (REVISED 1/22/2024)  
DATUM: IGLD'85

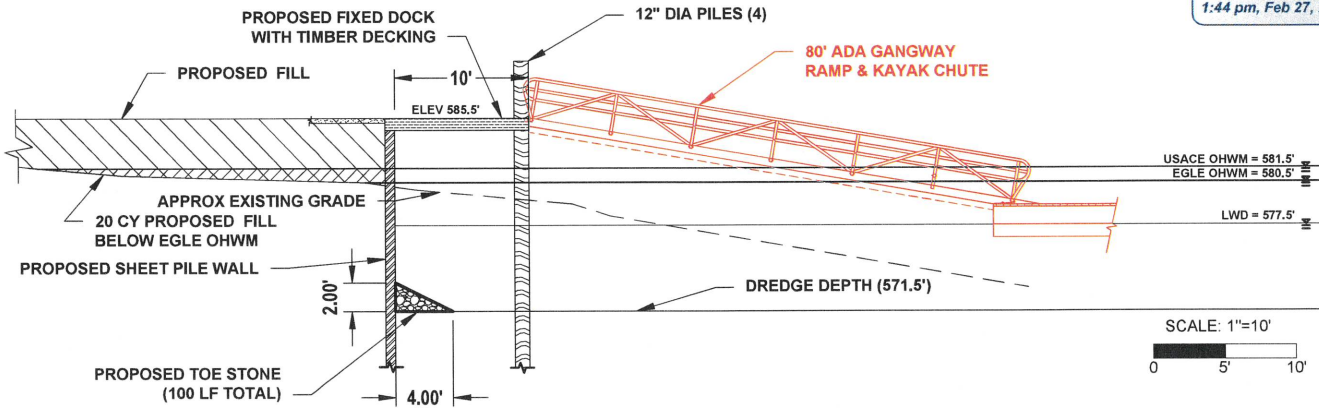
SHEET: 15 OF 18

**Edgewater** resources  
618 BROAD STREET, SUITE 200  
ST. JOSEPH, MI 49085  
P: 269 932 3542  
F: 269 932 3542

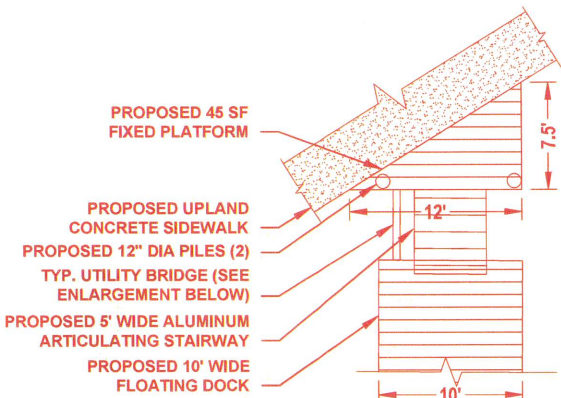
### ADA GANGWAY AND PLATFORM SECTION

**REVISED**

1:44 pm, Feb 27, 2024



### NW PLATFORM DETAILS & SECTION



PROPOSED FIXED PLATFORM W/ TIMBER DECKING & ADA GUARDRAIL

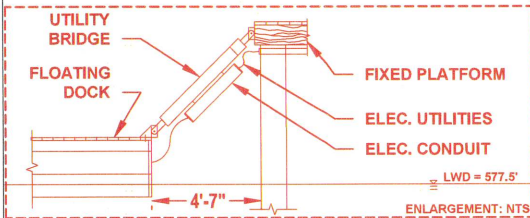
PROPOSED 5' WIDE ALUMINUM ARTICULATING STAIRWAY W/ RAILING  
12" DIA PILES (2)

USACE OHWM = 581.5'  
EGLE OHWM = 580.5'

PROPOSED 10' WIDE FLOATING DOCK

PROPOSED REVETMENT  
PROPOSED SHEET PILE WALL

SCALE: 1"=10'



ADA GANGWAY & NW PLATFORM  
 APPLICANT: DISCOVERY CENTER  
 WATERWAY: LAKE MICHIGAN  
 PROJECT: LEELANAU CITY, MI  
 COUNTY: LEELANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85  
 SHEET: 16 OF 18

**Edgewater** resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49085  
 P: 269 932 4502  
 F: 269 932 3542

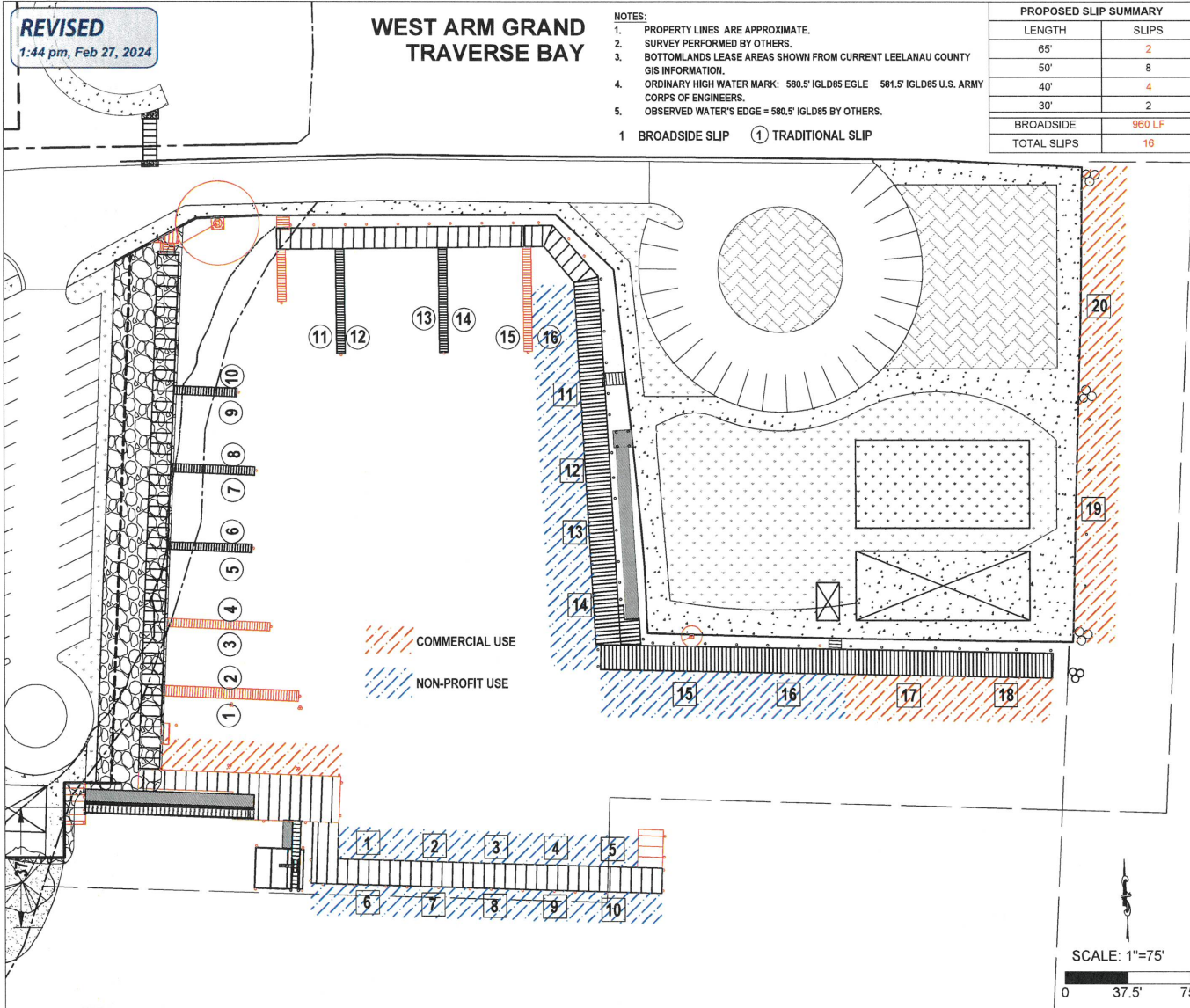
**REVISED**  
1:44 pm, Feb 27, 2024

### WEST ARM GRAND TRAVERSE BAY

**NOTES:**

1. PROPERTY LINES ARE APPROXIMATE.
  2. SURVEY PERFORMED BY OTHERS.
  3. BOTTOMLANDS LEASE AREAS SHOWN FROM CURRENT LEEANAU COUNTY GIS INFORMATION.
  4. ORDINARY HIGH WATER MARK: 580.5' IGLD85 EGLE 581.5' IGLD85 U.S. ARMY CORPS OF ENGINEERS.
  5. OBSERVED WATER'S EDGE = 580.5' IGLD85 BY OTHERS.
- 1 BROADSIDE SLIP    ① TRADITIONAL SLIP

PROPOSED SLIP SUMMARY	
LENGTH	SLIPS
65'	2
50'	8
40'	4
30'	2
<b>BROADSIDE</b>	<b>960 LF</b>
<b>TOTAL SLIPS</b>	<b>16</b>



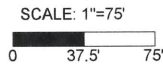
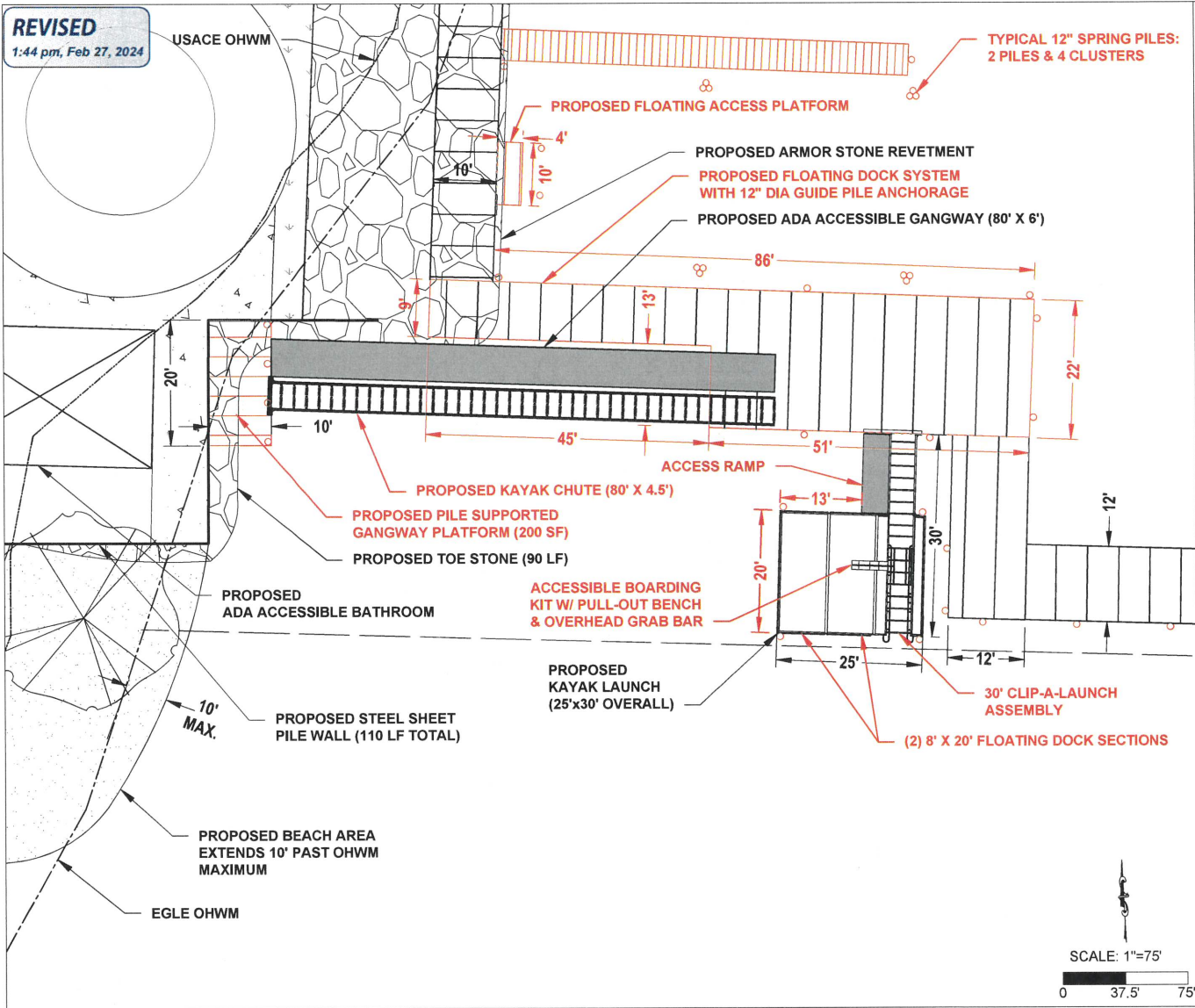
**PROPOSED BROADSIDE MOORING USES**

APPLICANT: DISCOVERY CENTER  
 PROJECT: LEELANAU  
 CITY: TRAVERSE CITY, MI  
 COUNTY: LEEANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

**Edgewater**  
resources

518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49085  
 P: 269 932 4802  
 F: 269 932 3842

**REVISED**  
1:44 pm, Feb 27, 2024



**ADA ACCESS ENLARGEMENT**  
 APPLICANT: DISCOVERY CENTER  
 PROJECT: TRAVEL CENTER  
 CITY: TRAVERSE CITY, MI  
 COUNTY: LEELANAU  
 DATE: 10/25/18 (REVISED 1/22/2024)  
 DATUM: IGLD'85

**Edgewater** resources  
 518 BROAD STREET, SUITE 200  
 ST. JOSEPH, MI 49086  
 P: 268 932 4802  
 F: 268 932 3542

## Sarah Clarren

---

**From:** Colin Hassenger <chassenger@edgewaterresources.com>  
**Sent:** Tuesday, March 12, 2024 5:39 PM  
**To:** Steve Christensen  
**Cc:** Daryl Veldman; Matt McDonough; Sarah Clarren  
**Subject:** Discovery Pier - Site Plan Review Request  
**Attachments:** 240308 DPP2 - Site Plan Review Set.pdf

Hello Steve,

As you are aware, Discovery Center is looking to move forward with the next phase of their planned improvements at Discovery Pier. We have reviewed plans with you previously but have included an updated full set with minor revisions. This set includes the revised swale detail separating the eastern M-22 frontage parking lot from the marina basin that we have discussed most recently. These plans also include the addition of the parking lot west of M-22, new access platforms to the floating docks, a revised jib crane location, a temporary event tent, and layout changes to the floating docks. At your earliest convenience, can you please review this updated plan set and provide any comments as they relate to your jurisdiction.

Thank you in advance for your review of this set.

Colin

**Colin Hassenger, PE**  
Project Engineer | Project Manager



518 Broad Street, Suite 200  
St Joseph, Michigan 49085

M 269 625 4869  
O 269 932 4502





## Sarah Clarren

---

**From:** Colin Hassenger <chassenger@edgewaterresources.com>  
**Sent:** Tuesday, March 12, 2024 5:33 PM  
**To:** Porath, Lucas (MDOT)  
**Cc:** Daryl Veldman; Matt McDonough; Sarah Clarren  
**Subject:** Discovery Pier - Site Plan Review Request  
**Attachments:** 240308 DPP2 - Site Plan Review Set.pdf

Hello Lucas,

As you are aware, Discovery Center is looking to move forward with the next phase of their planned improvements at Discovery Pier. We have reviewed partial plans with you previously but have included an updated full set with minor revisions. The work shown between the frontage parking lot (east of M-22) and M-22 will be subject to change in the future based upon the design of your future work along M-22, with our proposed curb as a common match point. These plans include the addition of the parking lot west of M-22, new access platforms to the floating docks, a revised jib crane location, a temporary event tent, and layout changes to the floating docks. At your earliest convenience, can you please review this updated plan set and provide any comments as they relate to your infrastructure.

Thank you in advance for your review of this set.

Colin

**Colin Hassenger, PE**  
Project Engineer | Project Manager

  
518 Broad Street, Suite 200  
St Joseph, Michigan 49085

M 269 625 4869  
O 269 932 4502



## Sarah Clarren

---

**From:** Colin Hassenger <chassenger@edgewaterresources.com>  
**Sent:** Tuesday, March 12, 2024 5:23 PM  
**To:** JDivozzo@gtcountymi.gov  
**Cc:** Daryl Veldman; Matt McDonough; Sarah Clarren  
**Subject:** Discovery Pier - Site Plan Review Request  
**Attachments:** 240308 DPP2 - Site Plan Review Set.pdf

Hello John,

Discovery Center is looking to move forward with the next phase of their planned improvements at Discovery Pier. We have reviewed plans with you previously for prior phases but have included an updated set with minor revisions. These revisions include the addition of the parking lot west of M-22, new access platforms to the floating docks, a revised jib crane location, a temporary event tent, and layout changes to the floating docks. At your earliest convenience, can you please review this updated plan set and provide any comments as they relate to your infrastructure.

Thank you in advance for your review of this set.

Colin

**Colin Hassenger, PE**  
Project Engineer | Project Manager



518 Broad Street, Suite 200  
St Joseph, Michigan 49085

M 269 625 4869  
O 269 932 4502



Discovery Center  
2024 Site Plan Review Parking Summary

Phases 2 and 3 Parking Requirements							
Use	Location	Type	Qty	Passengers	Crew/Staff	Factor	Number of Spaces
<b>Marina</b>							
Tall Ships & Tour Boats		Charter/Tour	6	182	28	0.33	69 ✓
Charter/Non-Profit		Charter	5			4.0	20 ✓
Kayak Launch	Frontage	Public	1			EA	8 ✓
Seasonal Slips		Private	10			0.5	5 ✓
Transient Slips	East wall	Private	4			0.5	2 ✓
							104
<b>Other</b>							
Event Pavillion	Pier	ea	249			0.33	82 ✓
Event Tent	Pier	ea	40			0.33	13 ✓
Ticket Office	Frontage	sf	310			/150	2 ✓
Park Area	Pier	sf	15338			/20,000	1.5 ✓
							99
<b>Campus</b>							
Discovery Center Office	Office	sf	4,055			/150	27 ✓
BLDG 5	Museum	sf	5,600			/300	19 ✓
Blue House	Storage	sf	1,436		1	EA	1 ✓
BLDG 1	Workshop	sf	2,560		3	EA	3 ✓
BLDG 2	Workshop	sf	6,000		6	EA	6 ✓
BLDG 3	Storage	sf	7,200		3	EA	3 ✓
BLDG 4	Workshop	sf	2,048		2	EA	2 ✓
							61
<b>Total Required</b>							<b>294</b>
<b>Parking Provided</b>							
M-22 Frontage Parking							30
Pier Rotunda Parking							22
Upland Tour Boat Parking							80
Discovery Center Office							35
Campus							100
<b>Total Provided</b>							<b>267</b>

27  
25-800  
75 employees  
75/1.2 = 63  
266






# DISCOVERY PIER MARINA PHASE 2 RECONSTRUCTION PROJECT

13171 & 13223 S WEST BAY SHORE DR  
TRAVERSE CITY, MI 49684

## DRAWING SET FOR SITE PLAN REVIEW

**CIVIL ENGINEERING**


I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL.



SEAL      Colin Hassenger, PE      02/13/24  
NAME:      DATE:

**ARCHITECTURAL**

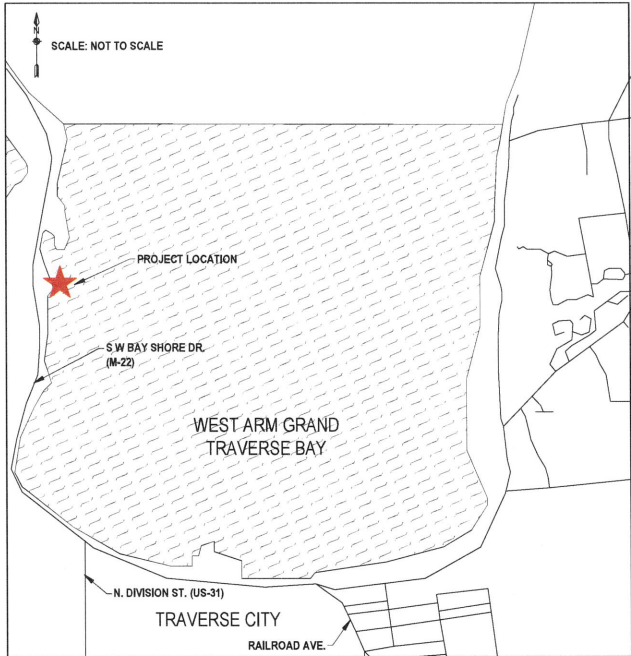
I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL.



SEAL      Michelle M Rumsa, RA      02/13/24  
NAME:      DATE:

PERMIT INFORMATION			
AGENCY	PERMIT NO	DATE AUTHORIZED	EXPIRATION DATE
EGLE	HNJ-4XKR-JHWF1	08/28/2019	08/28/2024
USACE	LRE-1977-560070-S18	11/06/2019	12/31/2024
LEELANAU COUNTY	SESC	PENDING	EXPIRED
ELMWOOD TOWNSHIP	LAND USE PERMIT	PENDING	EXPIRED

UTILITY CONTACTS		
UTILITY SERVICE	AGENCY	CONTACT
WATER & SEWER	GRAND TRAVERSE COUNTY DPW	JOHN DIVOZZO 2650 LAFRANIER ROAD TRAVERSE CITY MI 49686-897 PHONE (231) 995-6037
ELECTRIC	CONSUMERS ENERGY	ROBERT DURANCZYK, PROJECT MANAGER 821 HASTINGS STREET TRAVERSE CITY, MICHIGAN 49684 PHONE: (231) 929-6275
GAS	DTE	DAVID NEWCOMBE 1501 CASS ST. SUITE 8 TRAVERSE CITY, MICHIGAN 49684 PHONE: (231) 592-3244
TELEPHONE	CHARTER COMMUNICATIONS	RUDDY ROZANEK 701 SOUTH AIRPORT ROAD TRAVERSE CITY, MICHIGAN 49686 PHONE: (231) 929-7012 EXT.-101
DATA	SBC GLOBAL	CHUCK HELMBOLDT 142 E. STATE STREET TRAVERSE CITY, MICHIGAN 49684 PHONE: (231) 941-2707
ROADS	MDOT	JEFF HILL 2084 US-31, TRAVERSE CITY, MI 49685 PHONE: (231) 941-1986
FIRE DEPT	ELMWOOD TOWNSHIP	KEITH TAMPA, FIRE CHIEF 10090 E. LINCOLN RD. TRAVERSE CITY, MI 49684 PHONE: (231) 941-1647



Sheet List Table	
Sheet Number	Sheet Title
G-0.01	COVER SHEET
V-1.01	EXISTING CONDITIONS
LS-1.00	OVERALL SITE PLAN
LS-1.01	LANDSCAPE SITE PLAN - PIER
LS-1.02	LANDSCAPE SITE PLAN - PARKING
ME-1.01	MARINA SITE PLAN
LG-1.01	GRADING PLAN
U-1.01	UTILITY PLAN
LL-1.01	LANDSCAPE LIGHTING PLAN
LP-1.01	LANDSCAPE PLANTING PLAN
C-5.01	SITE DETAILS
C-5.02	NW PLATFORM SECTION & DETAILS
C-5.03	SW PLATFORM ENLARGEMENT & DETAILS
C-5.04	NW JIB CRANE PLATFORM DETAILS
C-5.05	UTILITY DETAILS
A-1.01	TICKET OFFICE MAIN FLOOR PLAN
A-2.01	TICKET OFFICE EXTERIOR ELEVATIONS



OWNER/APPLICANT:  
DISCOVERY CENTER GREAT LAKES  
13170 S. WEST BAYSHORE DR.  
TRAVERSE CITY, MI 49684

CONTACT:  
MATT MCDONOUGH, PRESIDENT  
(231) 409-4285, MATT@DISCOVERYGREATLAKES.ORG



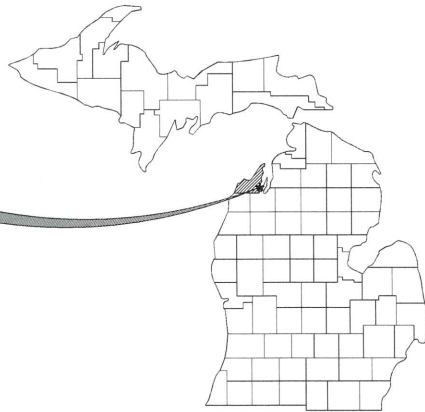
PLAN PREPARATION:  
EDGEWATER RESOURCES, LLC  
518 BROAD ST.  
ST. JOSEPH, MI 49085

CONTACT:  
MICHELLE RUMSA, RA, ARCHITECT  
(269) 277-2150

COLIN HASSENGER, P.E., PROJECT MANAGER  
(269) 625-4869



**MISS DIG**  
CALL AT LEAST 3 FULL  
WORKING DAYS (72 HRS)  
BEFORE YOU DIG



LEELANAU COUNTY, MICHIGAN





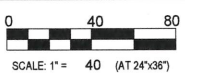


**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
OVERALL SITE PLAN  
SHEET TITLE:

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE:	2/13/24	
PROJ NO.:	23-039	
SCALE:	1" = 40' (AT 24"x36")	

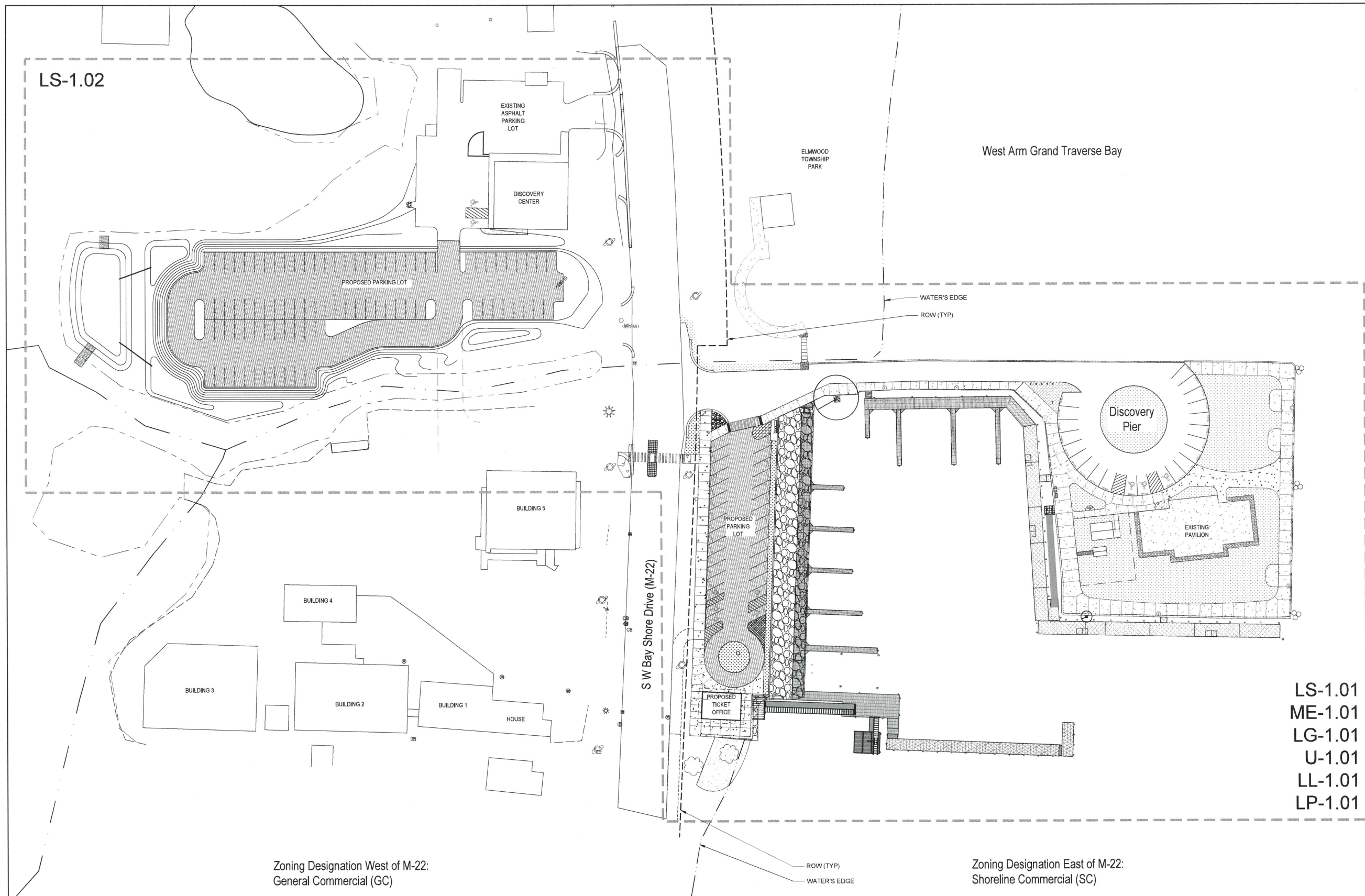


DESIGNED BY: CH  
DRAWN BY: FL  
REVIEWED BY: DV

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SHEET NUMBER:

**LS-1.00**



- NOTES:
1. SURVEY PERFORMED BY OTHERS ON 3/30/2018 & 9/20/2019. AVERAGE WATER LEVEL ON DAY OF SURVEY WAS 580.32' (IGLD' 85)
  2. HORIZONTAL DATUM IS NAD83 MI STATE PLANES, CENTRAL ZONE, INTERNATIONAL FOOT.
  3. VERTICAL DATUM IS NAVD88.
  4. IGLD85= NAVD88 -0.19'
  5. PROPERTY LINES ARE BASED ON SURVEY BY OTHERS.
  6. ALL ACCESS ROUTES, CLEARANCES, AND ACCESSIBLE SLIP DIMENSIONS SHALL COMPLY WITH THE 2010 STANDARDS FOR ACCESSIBLE DESIGN.

LIVE LOAD: FLOATING DOCK SYSTEM - 30 PSF, PLATFORM -100 PSF, GANGWAY- 60 PSF  
SNOW LOAD: N/A  
ULTIMATE DESIGN WIND SPEED: 75MPH, RESULTING IN 15 PSF DESIGN WIND FORCE  
PER ASCE MANUAL 50  
SEISMIC DESIGN & CATEGORY & SITE CLASS: N/A  
FLOOD DESIGN DATA: N/A  
DESIGN LOAD BEARING: N/A  
MBC 2016, NEC 2017



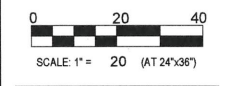
**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
LANDSCAPE SITE PLAN - PIER

PROJECT TITLE:

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE:	2/13/24	NORTH
PROJ NO.:	23-039	

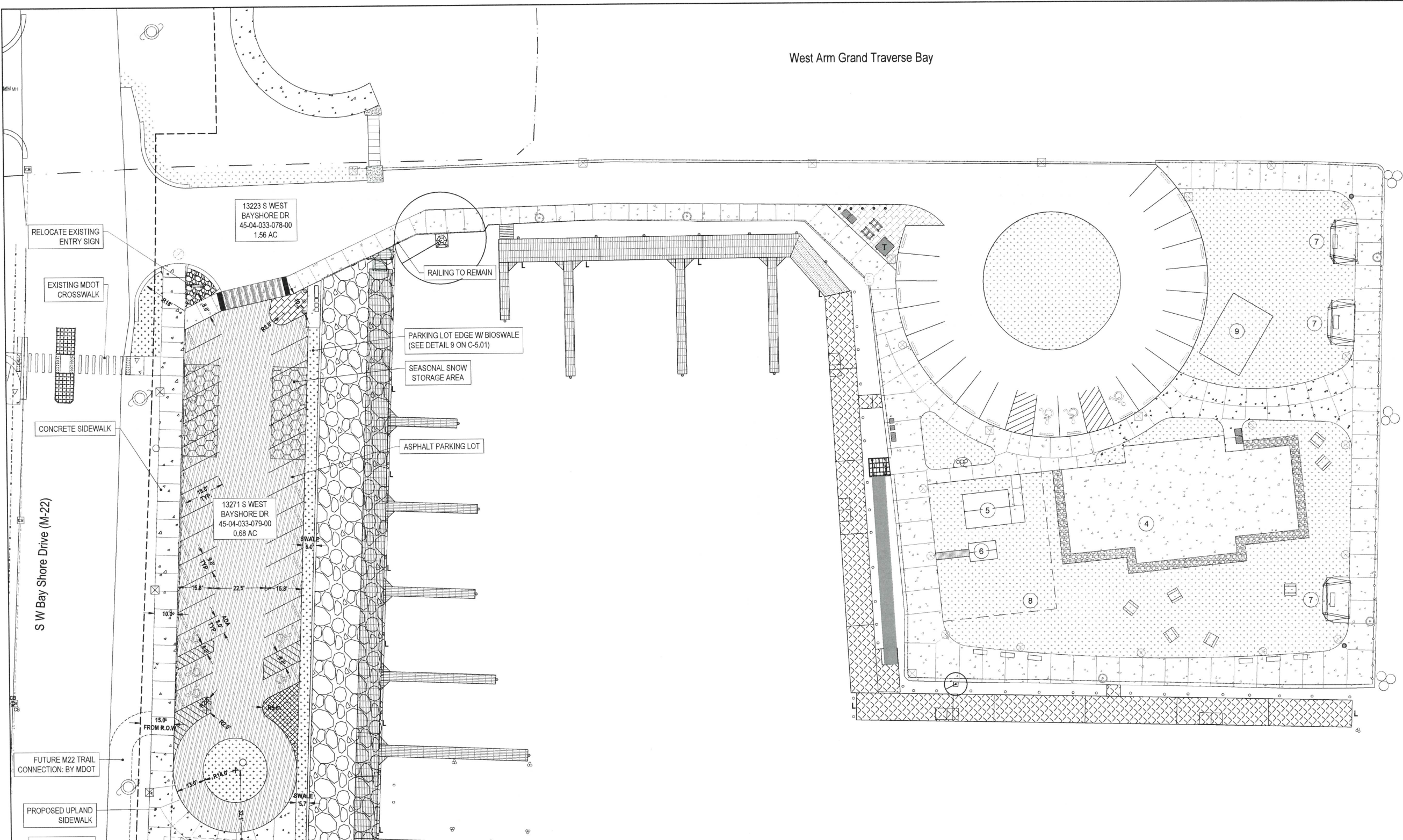


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SHEET NUMBER:  
**LS-1.01**

West Arm Grand Traverse Bay



**LEGEND**

--- RIGHT OF WAY	EXIST/PROPOSED ASPHALT PARKING	① PROPOSED TICKET OFFICE	FREE-STANDING PICNIC TABLE
--- SHORELINE	EXIST/PROPOSED CONCRETE WALK	② PROPOSED KAYAK LAUNCH SYSTEM WITH PILING ANCHORAGE	BENCH
⊕ EXISTING UTILITY POLE	EXIST/PROPOSED CONCRETE PAVERS	③ PROPOSED FLOATING DOCK SYSTEM WITH PILING ANCHORAGE	LITTER RECEPTACLE
⊕ EXISTING WATER VALVE	EXIST/PROPOSED PLANTING AREA	④ EXISTING PAVILION	CLEAR SPACE FOR FLIP-TOP LITTER BIN
⊕ EXISTING CATCH BASINS & STORM MANHOLES	EXIST/PROPOSED DOCKS	⑤ EXISTING RELOCATED TICKET OFFICE (TEMPORARY)	BIKE RACKS
⊕ EXISTING HYDRANT	PROPOSED WAVE ATTENUATOR	⑥ EXISTING RELOCATED ICE SHED (TEMPORARY)	CLEAR SPACE FOR PORTABLE TOILET
--- EXISTING TIE-BACKS (BELOW GRADE)		⑦ EXISTING SHADE STRUCTURE (3 TOTAL)	WHEEL STOP / REMOVABLE WHEEL STOP
--- EXISTING RAILING		⑧ FUTURE RESEARCH BUILDING	WATER FOUNTAIN
		⑨ 20' x 30' TEMPORARY EVENT TENT	⊗ PEDESTRIAN / BOLLARD LIGHTS



**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
LANDSCAPE SITE PLAN - PARKING

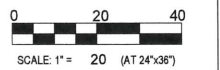
PROJECT TITLE:

SHEET TITLE:

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

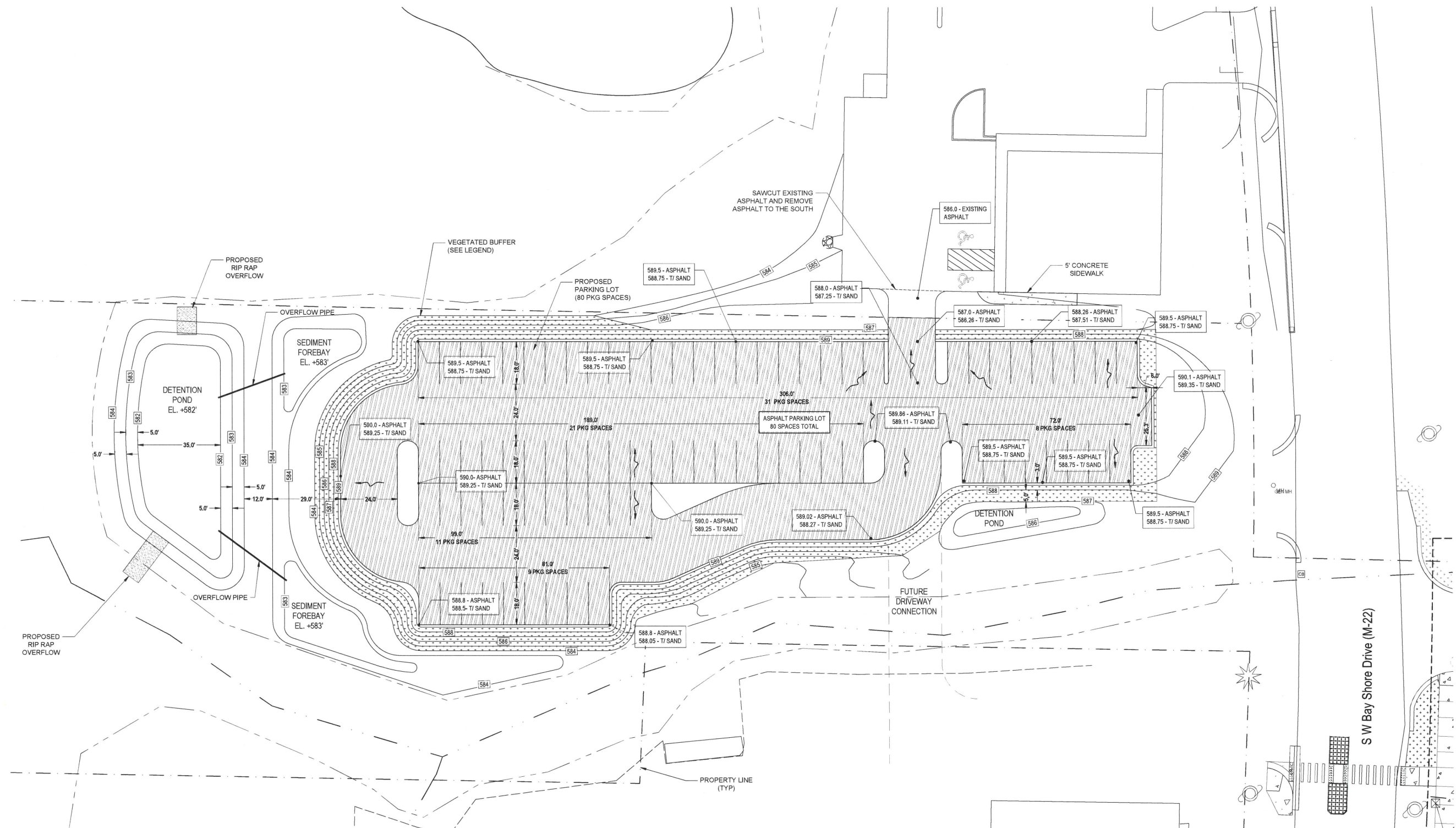
DATE:	2/13/24	NORTH
PROJ NO.:	23-039	



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SHEET NUMBER:  
**LS-1.02**



**LEGEND:**

	EXIST. GRADE
	PROPOSED GRADE
	FLOW ARROW
	STANTECH NATIVE PLANT LOW SWALE NURSURY MIX. APPLY 36.31 (PLS) POUNDS PER ACRE

- NOTES:**
- SURVEY PERFORMED BY OTHERS ON 3/30/2018. AVERAGE WATER LEVEL ON DAY OF SURVEY WAS 580.32' (IGLD' 85)
  - HORIZONTAL DATUM IS NAD83 MI STATE PLANES, CENTRAL ZONE, INTERNATIONAL FOOT.
  - VERTICAL DATUM IS NAVD88.
  - IGLD85= NAVD88 -0.19'
  - PROPERTY LINES ARE BASED ON SURVEY BY OTHERS.
  - PARKING LOT IS USED SEASONALLY AND IS NOT PLOWED IN THE WINTER

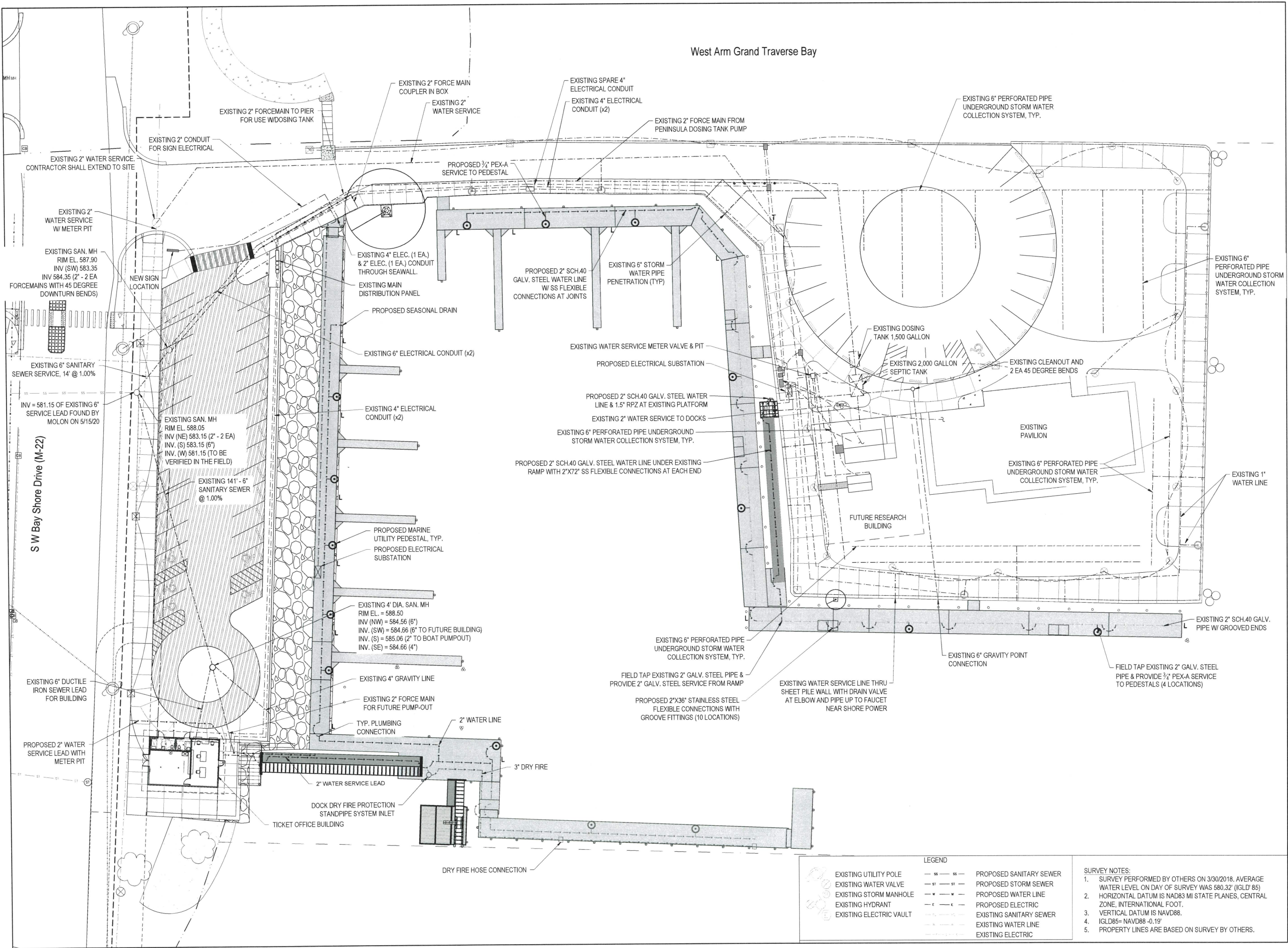






**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
UTILITY PLAN

West Arm Grand Traverse Bay

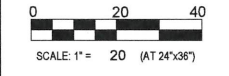


PROJECT TITLE:

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE: 2/13/24  
PROJ NO.: 23-039



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SHEET NUMBER:

**U-1.01**

**LEGEND**

EXISTING UTILITY POLE	---	PROPOSED SANITARY SEWER
EXISTING WATER VALVE	—○—○—	PROPOSED STORM SEWER
EXISTING STORM MANHOLE	—○—○—	PROPOSED WATER LINE
EXISTING HYDRANT	—○—○—	PROPOSED ELECTRIC
EXISTING ELECTRIC VAULT	—○—○—	EXISTING SANITARY SEWER
		EXISTING WATER LINE
		EXISTING ELECTRIC

- SURVEY NOTES:**
- SURVEY PERFORMED BY OTHERS ON 3/30/2018. AVERAGE WATER LEVEL ON DAY OF SURVEY WAS 580.32' (IGLD 85)
  - HORIZONTAL DATUM IS NAD83 MI STATE PLANES, CENTRAL ZONE, INTERNATIONAL FOOT.
  - VERTICAL DATUM IS NAVD88.
  - IGLD85= NAVD88 -0.19'
  - PROPERTY LINES ARE BASED ON SURVEY BY OTHERS.

West Arm Grand Traverse Bay



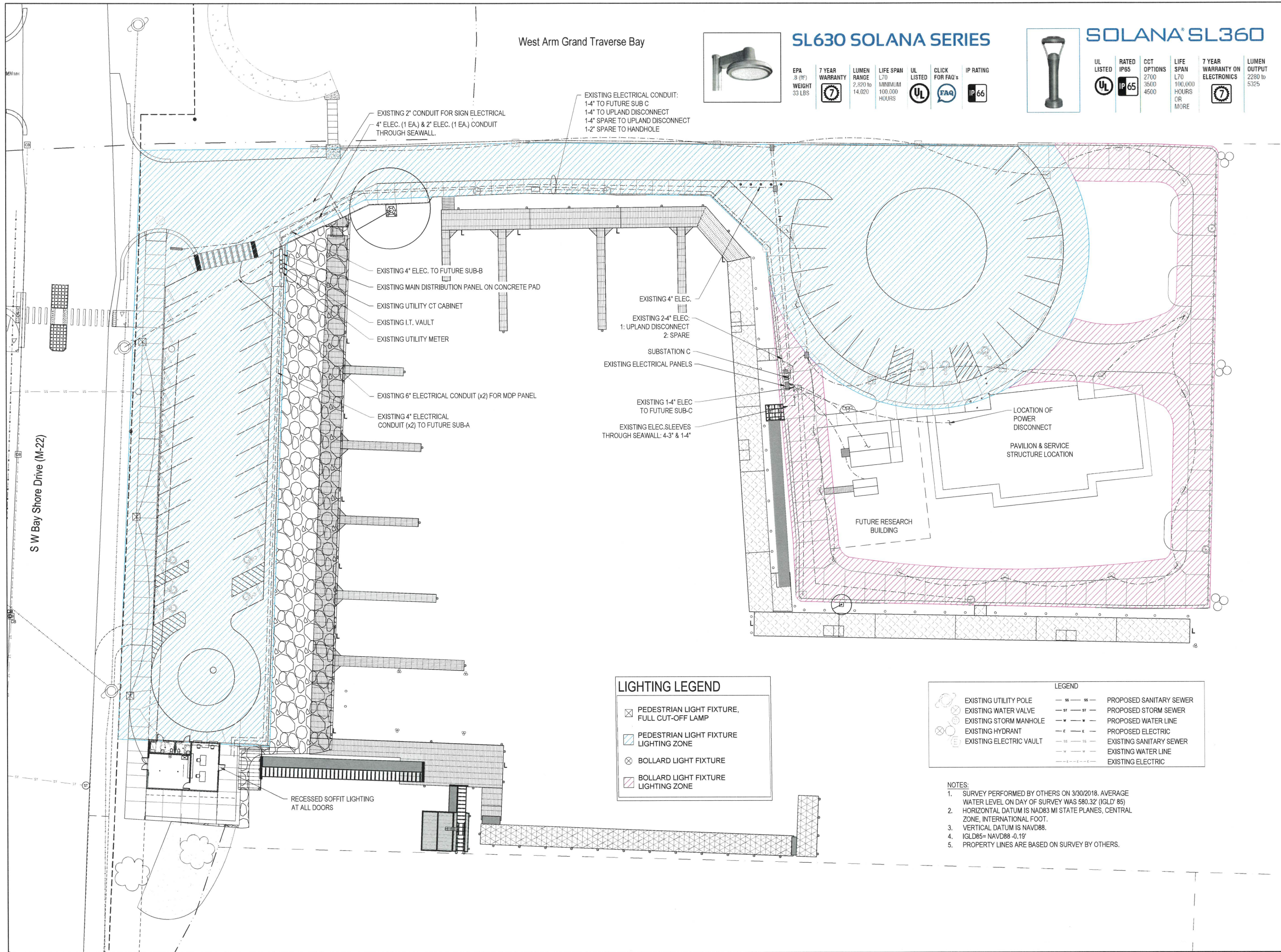
SL630 SOLANA SERIES

EPA .8 (ft) WEIGHT 33 LBS	7 YEAR WARRANTY	LUMEN RANGE 2,820 to 14,020	LIFE SPAN L70 MINIMUM 100,000 HOURS	UL LISTED	CLICK FOR FAQ's	IP RATING IP 66
------------------------------------	--------------------	--------------------------------------	---	--------------	--------------------	--------------------



SOLANA SL360

UL LISTED	RATED IP65	CCT OPTIONS 2700 3500 4500	LIFE SPAN L70 100,000 HOURS OR MORE	7 YEAR WARRANTY ON ELECTRONICS	LUMEN OUTPUT 2280 to 5325
--------------	---------------	--	---	--------------------------------------	------------------------------------



**LIGHTING LEGEND**

- ☒ PEDESTRIAN LIGHT FIXTURE, FULL CUT-OFF LAMP
- ☒ PEDESTRIAN LIGHT FIXTURE LIGHTING ZONE
- ☒ BOLLARD LIGHT FIXTURE
- ☒ BOLLARD LIGHT FIXTURE LIGHTING ZONE

**LEGEND**

- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING HYDRANT
- ⊕ EXISTING ELECTRIC VAULT
- ss — ss — PROPOSED SANITARY SEWER
- st — st — PROPOSED STORM SEWER
- w — w — PROPOSED WATER LINE
- e — e — PROPOSED ELECTRIC
- ss — ss — EXISTING SANITARY SEWER
- w — w — EXISTING WATER LINE
- e — e — EXISTING ELECTRIC

- NOTES:**
1. SURVEY PERFORMED BY OTHERS ON 3/30/2018. AVERAGE WATER LEVEL ON DAY OF SURVEY WAS 580.32 (IGLD' 85)
  2. HORIZONTAL DATUM IS NAD83 MI STATE PLANES, CENTRAL ZONE, INTERNATIONAL FOOT.
  3. VERTICAL DATUM IS NAVD88.
  4. IGLD85= NAVD88 -0.19'
  5. PROPERTY LINES ARE BASED ON SURVEY BY OTHERS.

**Edgewater resources**  
518 Broad Street, Suite 200  
Saint Joseph, MI 49085  
P: 269.932.4502  
edgewaterresources.com

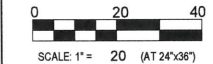
PROJECT TITLE:  
**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN

SHEET TITLE:  
LANDSCAPE LIGHTING PLAN

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

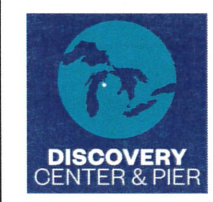
DATE:	2/13/24	NORTH
PROJ NO.:	23-039	



DESIGNED BY: SF  
DRAWN BY: SF  
REVIEWED BY: DV

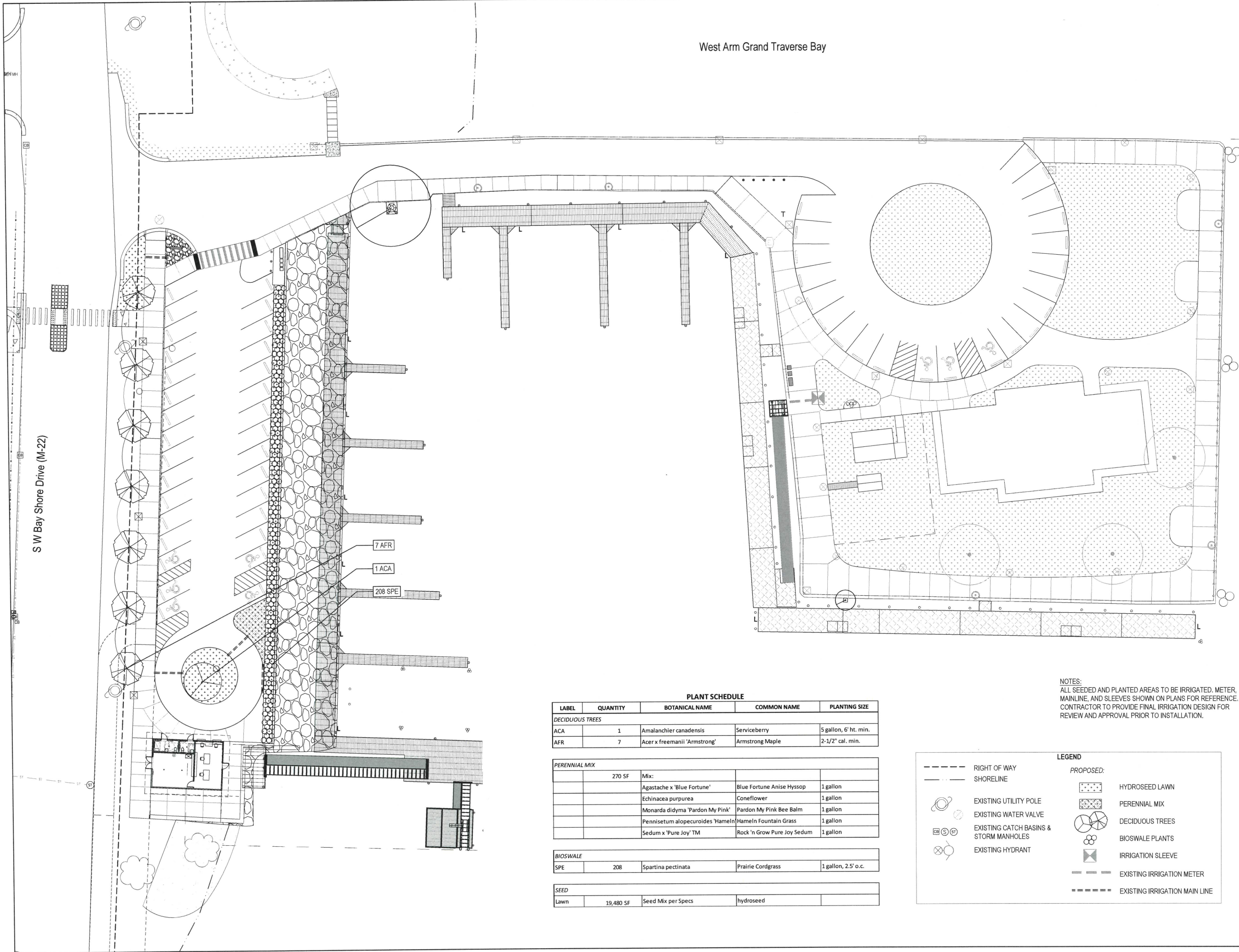
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SHEET NUMBER:  
**LL-1.01**



PROJECT TITLE:  
**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
SHEET TITLE:  
LANDSCAPE PLANTING PLAN

West Arm Grand Traverse Bay



**PLANT SCHEDULE**

LABEL	QUANTITY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE
<b>DECIDUOUS TREES</b>				
ACA	1	Amalanchier canadensis	Serviceberry	5 gallon, 6' ht. min.
AFR	7	Acer x freemanii 'Armstrong'	Armstrong Maple	2-1/2" cal. min.
<b>PERENNIAL MIX</b>				
	270 SF	Mix:		
		Agastache x 'Blue Fortune'	Blue Fortune Anise Hyssop	1 gallon
		Echinacea purpurea	Coneflower	1 gallon
		Monarda didyma 'Pardon My Pink'	Pardon My Pink Bee Balm	1 gallon
		Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gallon
		Sedum x 'Pure Joy' TM	Rock 'n Grow Pure Joy Sedum	1 gallon
<b>BIOSWALE</b>				
SPE	208	Spartina pectinata	Prairie Cordgrass	1 gallon, 2.5' o.c.
<b>SEED</b>				
Lawn	19,480 SF	Seed Mix per Specs	hydroseed	

NOTES:  
ALL SEEDED AND PLANTED AREAS TO BE IRRIGATED. METER, MAINLINE, AND SLEEVES SHOWN ON PLANS FOR REFERENCE. CONTRACTOR TO PROVIDE FINAL IRRIGATION DESIGN FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

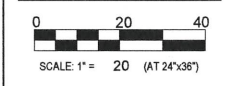
**LEGEND**

--- RIGHT OF WAY	PROPOSED: HYDROSEED LAWN
--- SHORELINE	PERENNIAL MIX
EXISTING UTILITY POLE	DECIDUOUS TREES
EXISTING WATER VALVE	BIOSWALE PLANTS
EXISTING CATCH BASINS & STORM MANHOLES	IRRIGATION SLEEVE
EXISTING HYDRANT	--- EXISTING IRRIGATION METER
	--- EXISTING IRRIGATION MAIN LINE

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE:	2/13/24	
PROJ NO.:	23-039	



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**LP-1.01**







**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
PROJECT TITLE:  
SHEET TITLE: NW PLATFORM SECTION & DETAILS

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE:	2/13/24	<p>NORTH</p>
PROJ NO.:	23-039	

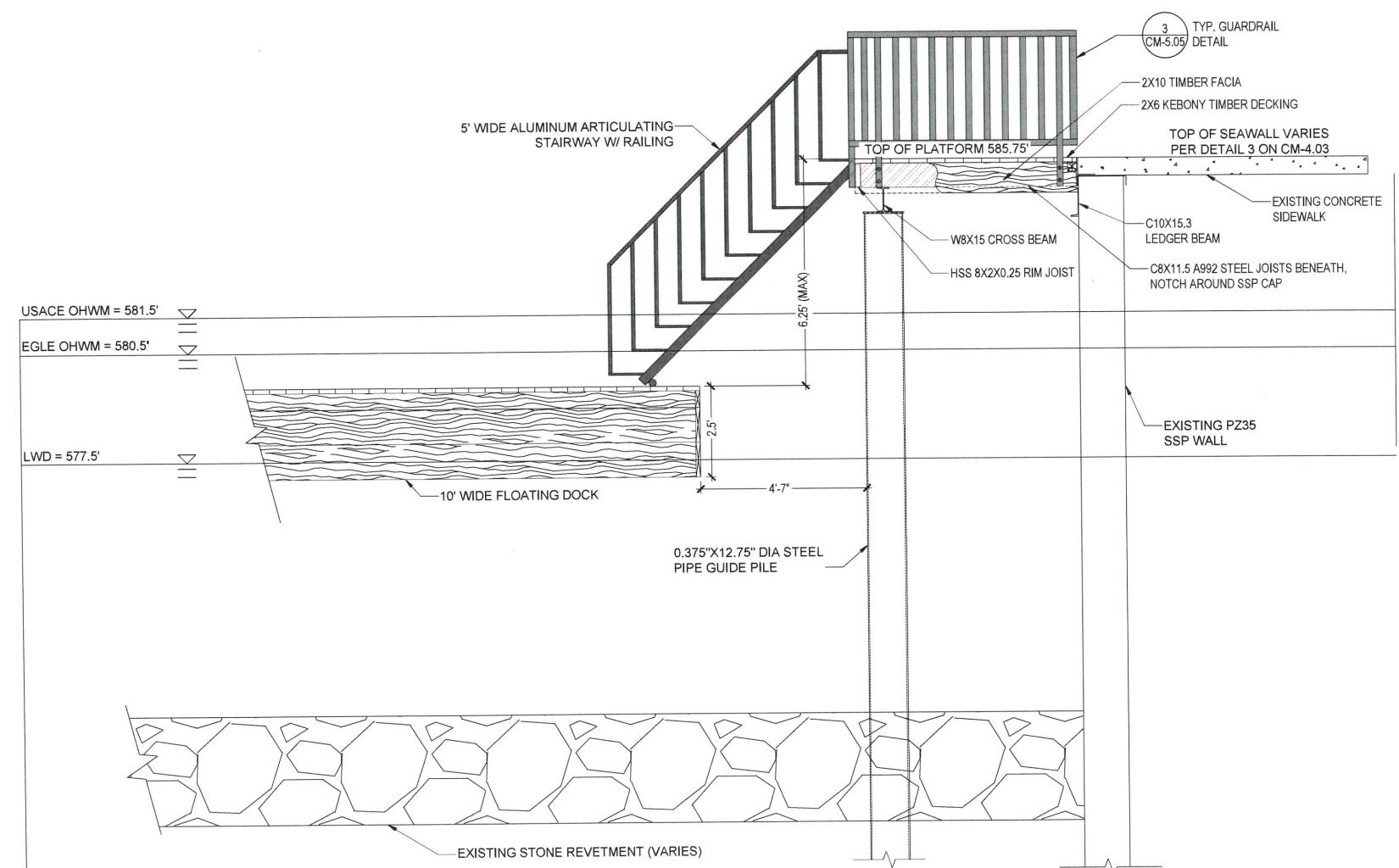


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DRAWN BY: FL  
REVIEWED BY: DV

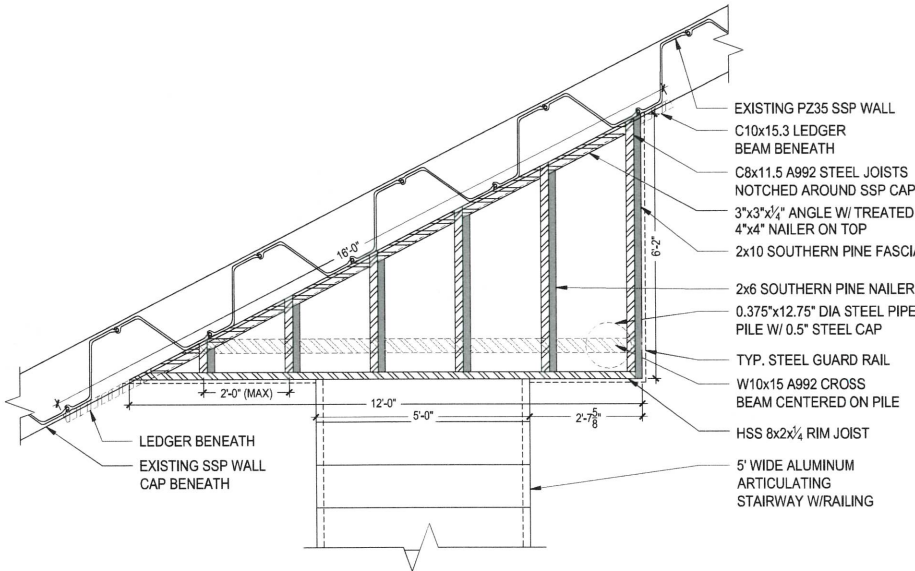
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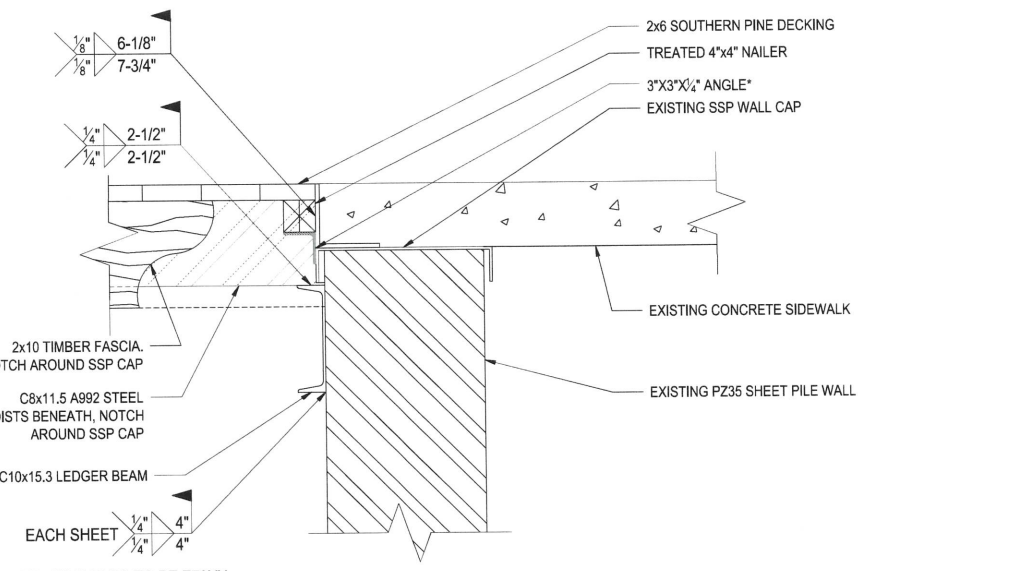
**C-5.02**



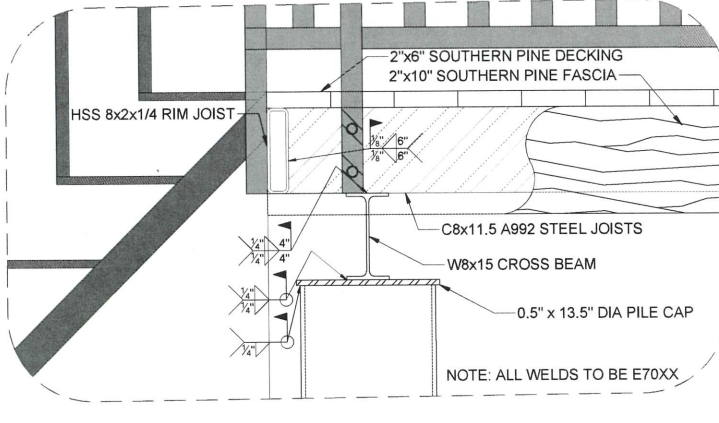
**1 NW PLATFORM SECTION**  
SCALE: 1"=2'



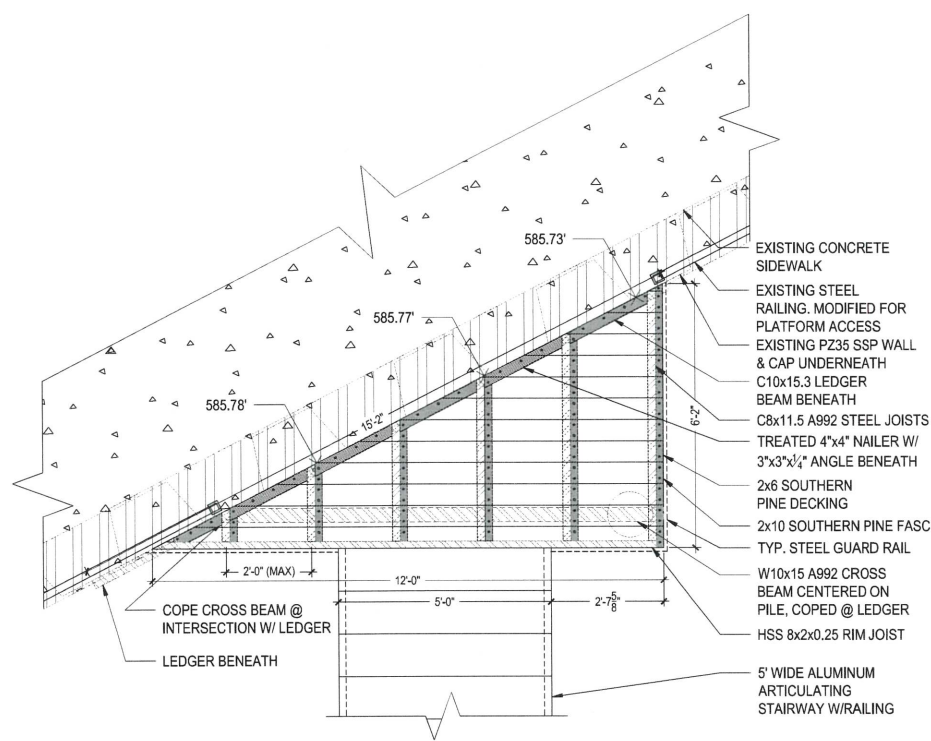
**2 NW PLATFORM FRAMING PLAN**  
SCALE: 1/2"=1'-0"  
DT-NWPLATFORM



**3 NW PLATFORM CONNECTION DETAIL**  
SCALE: 1 1/2"=1'-0"  
DT-JIB CRANE CONNECTION



**4 CONNECTION ENLARGEMENT**  
SCALE: 1/3"=1'



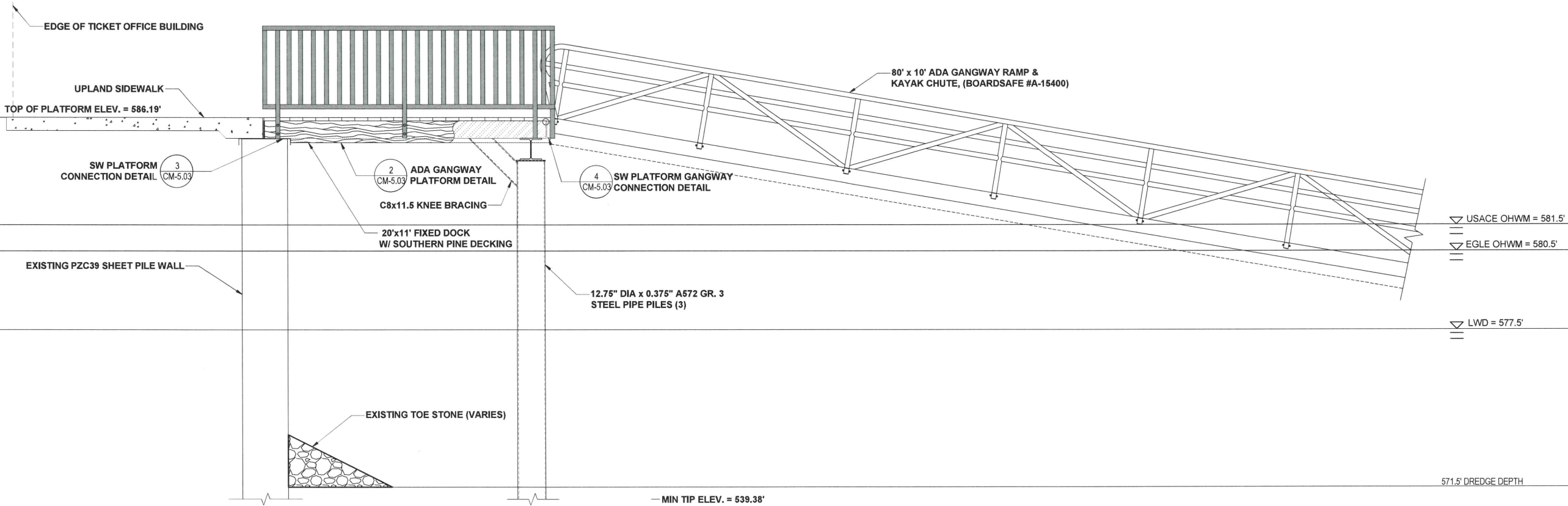
**5 NW PLATFORM LAYOUT PLAN**  
SCALE: 1/2"=1'-0"  
DT-NWPLATFORM

NOTE: ALL WELDS TO BE E70XX  
\*ANGLE TO BE WELDED TO EXISTING ANGLE & CAP ASSEMBLY

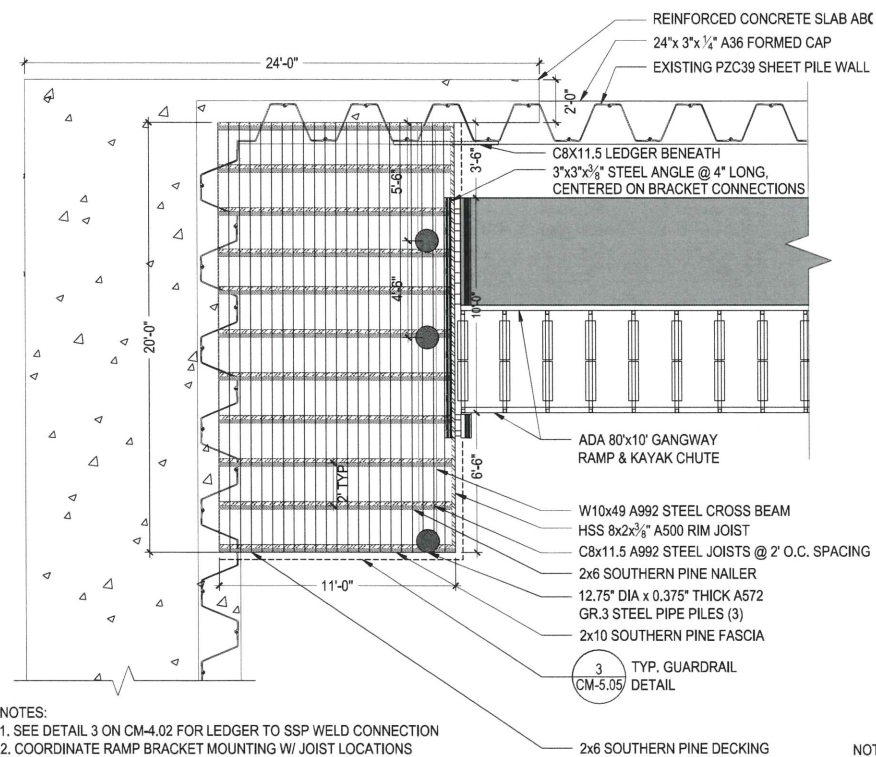
NOTES:  
1. MODIFY EXISTING RAILING FOR PLATFORM ACCESS. MIN 5' CLEARANCE.



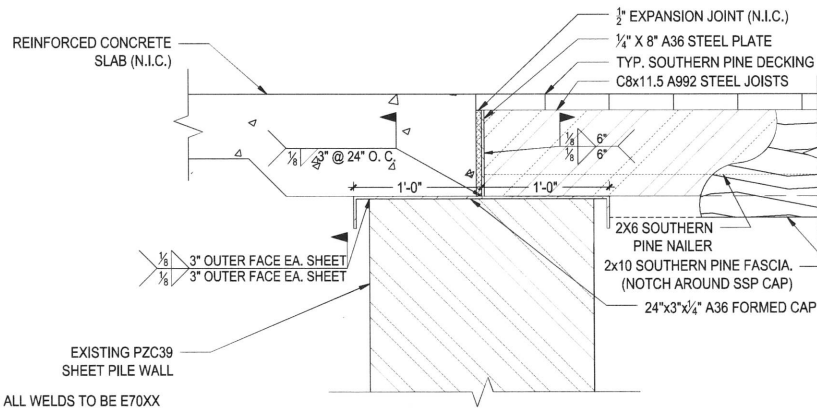
**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
PROJECT TITLE:  
SW PLATFORM ENLARGEMENT & DETAILS



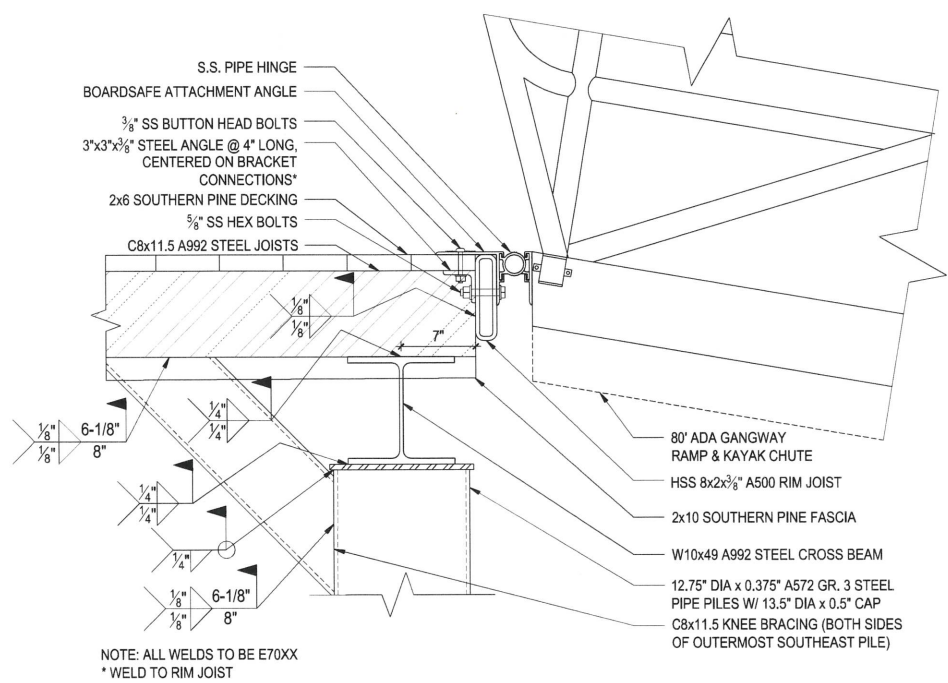
**1 ADA GANGWAY PLATFORM SECTION**  
SCALE: 1"=2'



**2 ADA GANGWAY PLATFORM DETAIL**  
SCALE: 1/4"=1'-0"



**3 SW PLATFORM CONNECTION DETAIL**  
SCALE: 1 1/2"=1'-0"



**4 SW PLATFORM GANGWAY CONNECTION DETAIL**  
SCALE: 1 1/2"=1'-0"

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE:	2/13/24	NORTH
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SCALE: 1" = (AT 24"x36")

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REVIEWED BY:	DV

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**C-5.03**



**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
PROJECT TITLE:  
SHEET TITLE: NW JIB CRANE PLATFORM DETAILS

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

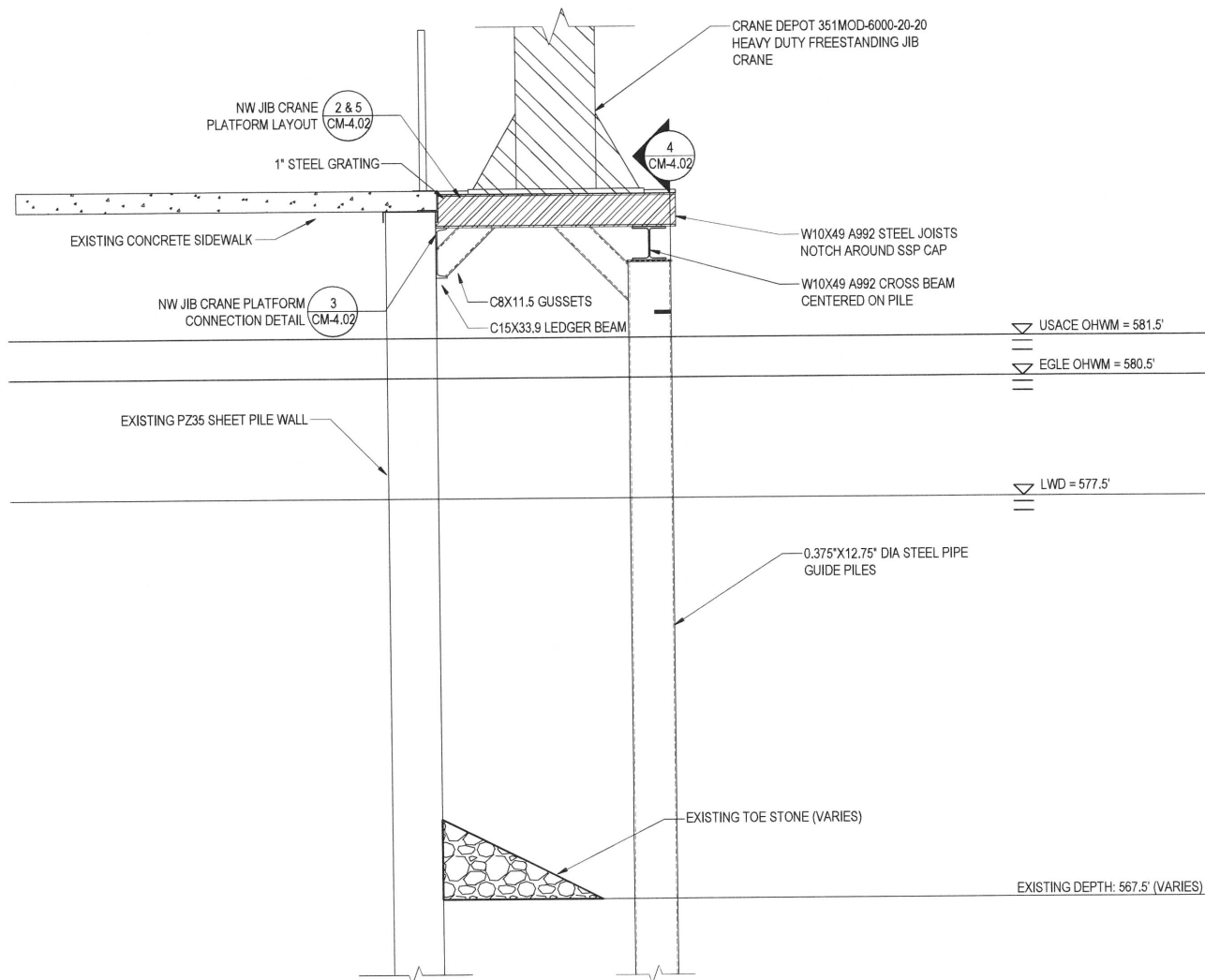
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PROJ NO.:	23-039	



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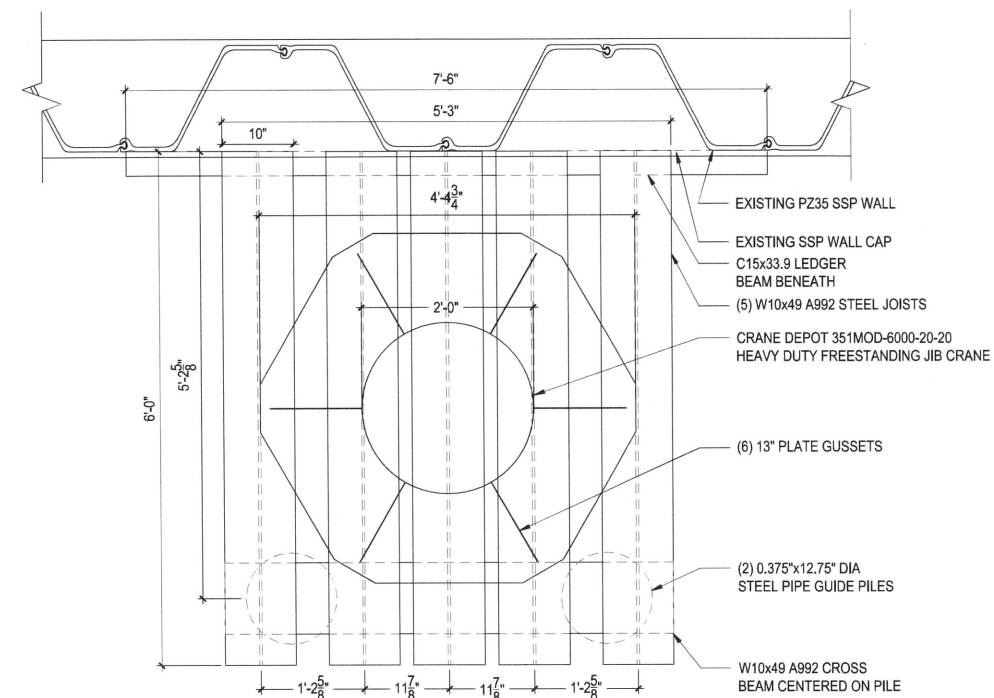
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**C-5.04**



**1** NW JIB CRANE PLATFORM SECTION

SCALE: 1"=2'

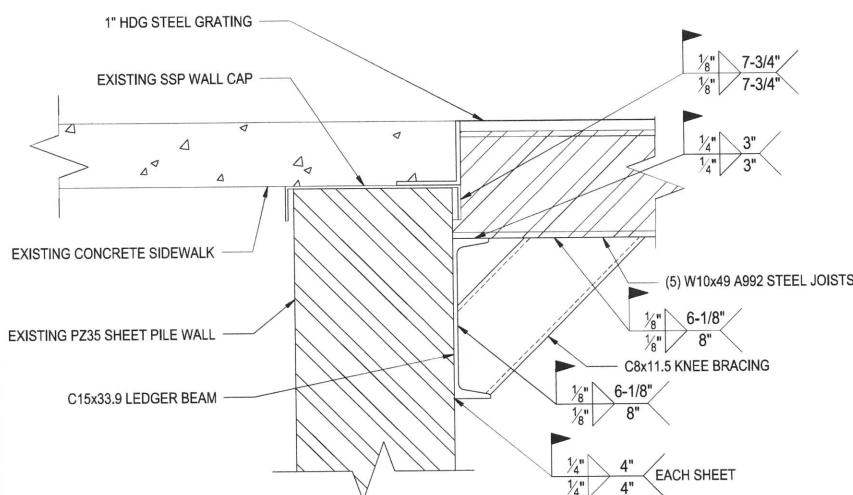


NOTE:  
1. VERIFY JOIST SPACING COMPATIBILITY WITH JIB CRANE BOLT SPACING 7 SUBMIT SHOP DRAWINGS FOR ENGINEER APPROVAL  
2. ALL JOISTS TO BE WELDED ON BOTH SIDES AS SHOWN ALONG THE LENGTH OF THE LEDGER

**2** JIB CRANE FRAMING LAYOUT

SCALE: 1"=1'-0"

DT-JIBCRANE

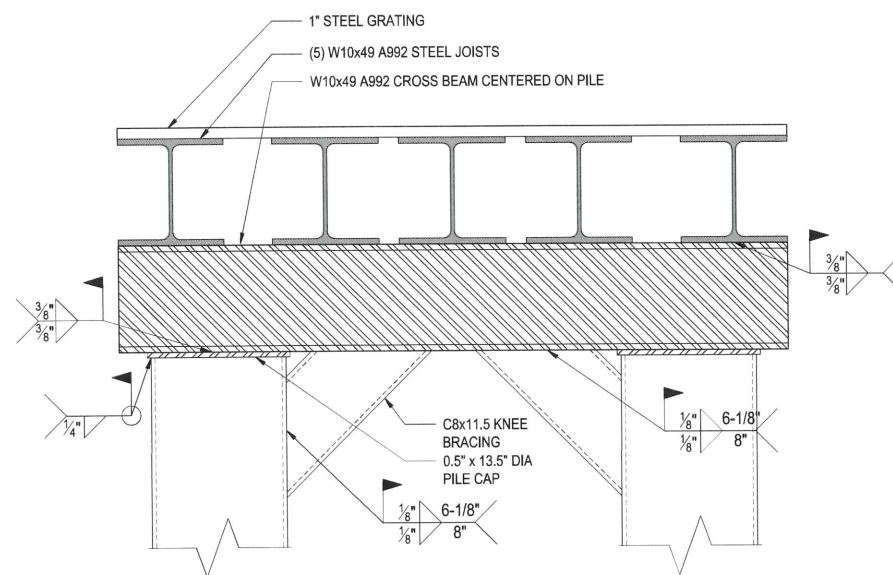


NOTE: ALL WELDS TO BE E70XX

**3** NW JIB CRANE PLATFORM CONNECTION DETAIL

SCALE: 1 1/2"=1'-0"

DT-JIB CRANE CONNECTION

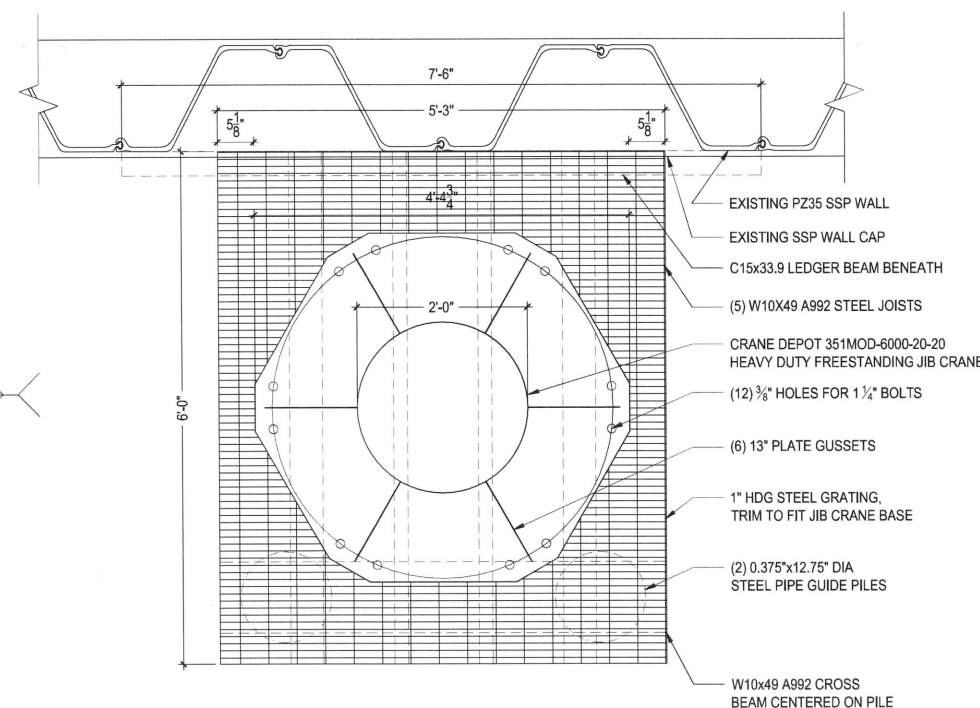


NOTE: ALL WELDS TO BE E70XX

**4** NW JIB CRANE PLATFORM ELEVATION

SCALE: 1 1/2"=1'-0"

DT-JIB CRANE ELEV




**5** JIB CRANE GRATING LAYOUT

SCALE: 1"=1'-0"

DT-JIBCRANE

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE:	2/13/24	
PROJ NO.:	23-039	
SCALE:	1" = (AT 24"x36")	

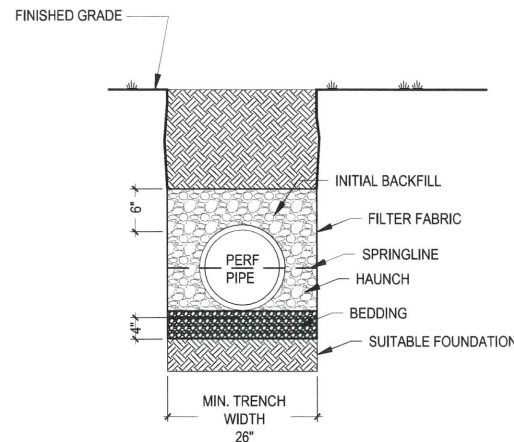
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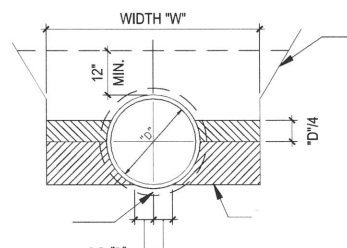
**1 PERFORATED PIPE TRENCHING**

SCALE: N. T. S.

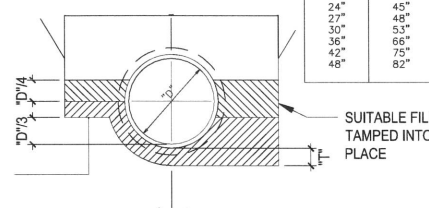
NOTE: PIPE SHALL BE FIRMLY BEDDED ON UN-DISTURBED SOIL AS SHOWN IN LEFT SECTION. IN THE EVENT THE SOIL CAN NOT BE SHAPED, OR THE CONTRACTOR PREFERS, THE TRENCH SHALL BE EXCAVATED TO A GREATER DEPTH AND BACKFILLED WITH SELECTED FILL AND COMPACTED AS SHOWN IN RIGHT SECTION. IN ALL CASES BELL HOLES SHALL BE PROVIDED SO THAT BELL SUPPORTS NO WEIGHT.

MIN. THICKNESS "T"

TO 15"	6"
18" TO 36"	9"
OVER 36"	12"



**IN SUITABLE SOILS**



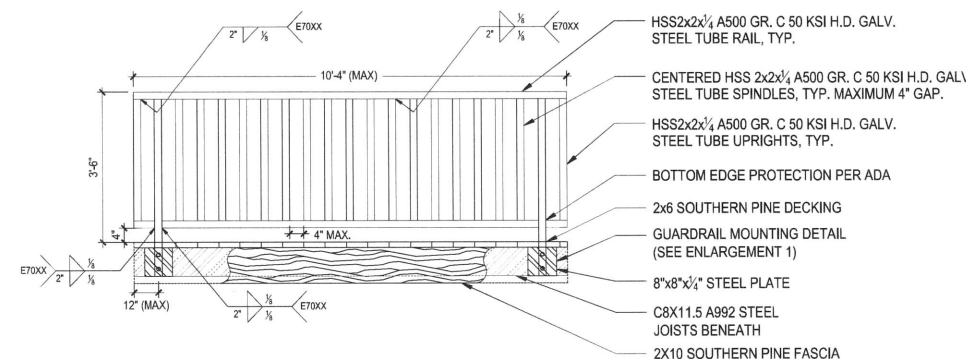
**IN SOFT OR HARD SOILS**

MAX. TRENCH WIDTH AT TOP OF PIPE

DIA. "D"	WIDTH "W"
6"	18"
8"	24"
10"	24"
12"	30"
15"	36"
18"	39"
21"	42"
24"	45"
27"	48"
30"	53"
36"	66"
42"	75"
48"	82"

**2 TRENCH, PIPE LAYING, BEDDING DETAILS (TYP.)**

SCALE: N. T. S.

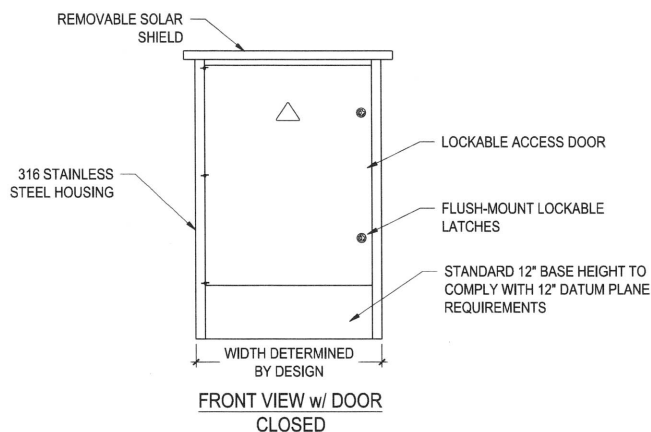


- NOTE:
1. WELDS SHOWN ABOVE ARE TYPICAL FOR ALL SIMILAR GUARDRAIL CONNECTIONS. WELD FILLER MATERIAL SHALL CONFORM TO E70XX.
  2. LENGTHS VARY PER CM-4.01 & CM-4.03

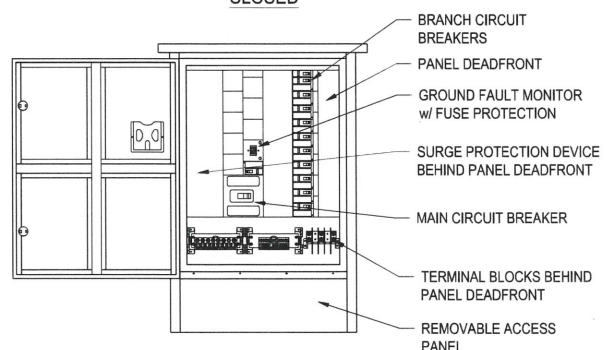
**3 TYP. GUARDRAIL DETAIL**

SCALE: 1/2"=1'-0"

DT-GUARDRAIL



FRONT VIEW w/ DOOR CLOSED

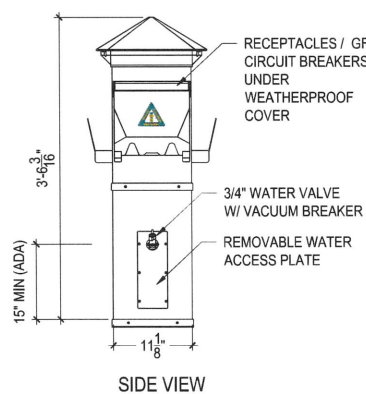


FRONT VIEW w/ DOOR OPEN

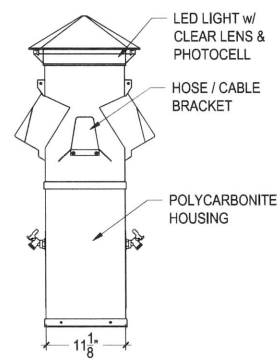
**4 TYPICAL ELECTRICAL SUBSTATION**

SCALE: N.T.S.

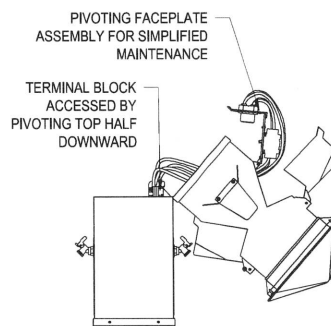
PEDESTALS SERVING SLIPS DESIGNATED AS ADA SHALL HAVE REACH HEIGHTS OF AT LEAST 15" PER 2010 ADA.



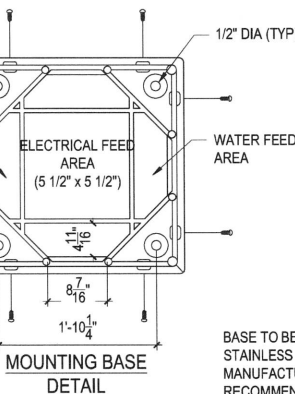
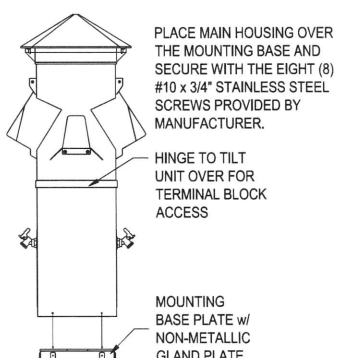
SIDE VIEW



FRONT VIEW w/ TERMINAL BLOCK ACCESS COVER REMOVED



SIDE VIEW w/ TOP HALF PIVOTED FOR ACCESS TO 250A TERMINAL BLOCK



MOUNTING BASE DETAIL

BASE TO BE MOUNTED WITH STAINLESS FASTENERS PER MANUFACTURERS RECOMMENDATIONS

**5 TYPICAL UTILITY PEDESTAL**

SCALE: N.T.S.

DT-TYP UTILITY PEDESTAL





**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
SHEET TITLE: TICKET OFFICE MAIN FLOOR PLAN

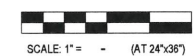
PROJECT TITLE:

DATE	REVISION

ISSUED FOR:

**SITE PLAN REVIEW**

DATE:	2/13/24	
PROJ NO.:	23-039	

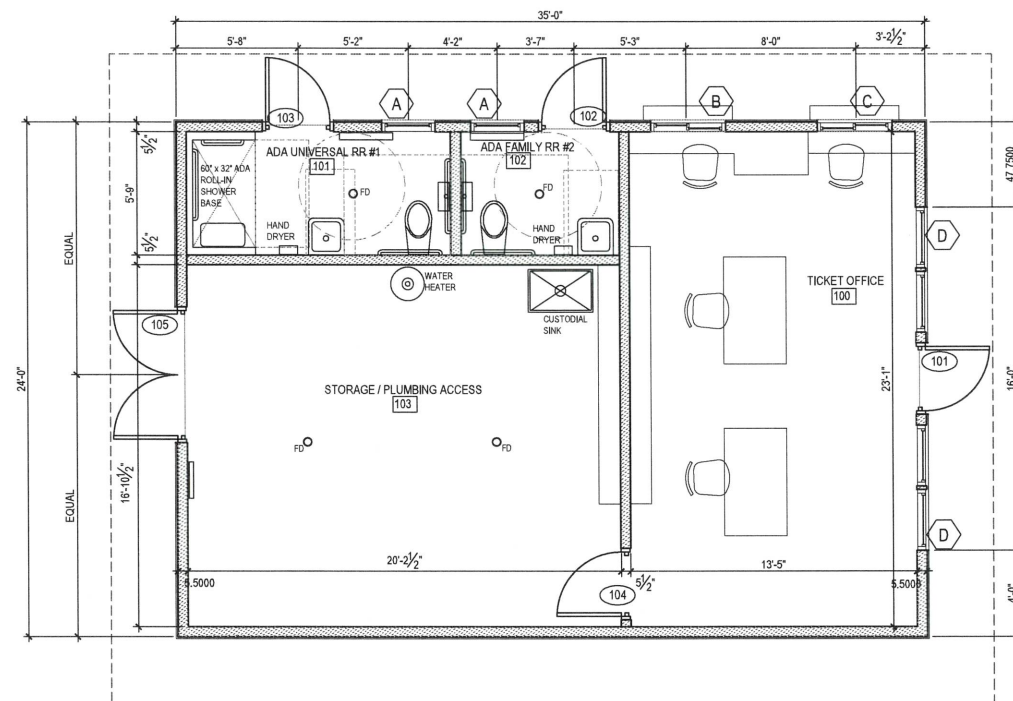


DESIGNED BY: MR  
DRAWN BY: MR  
REVIEWED BY: CH

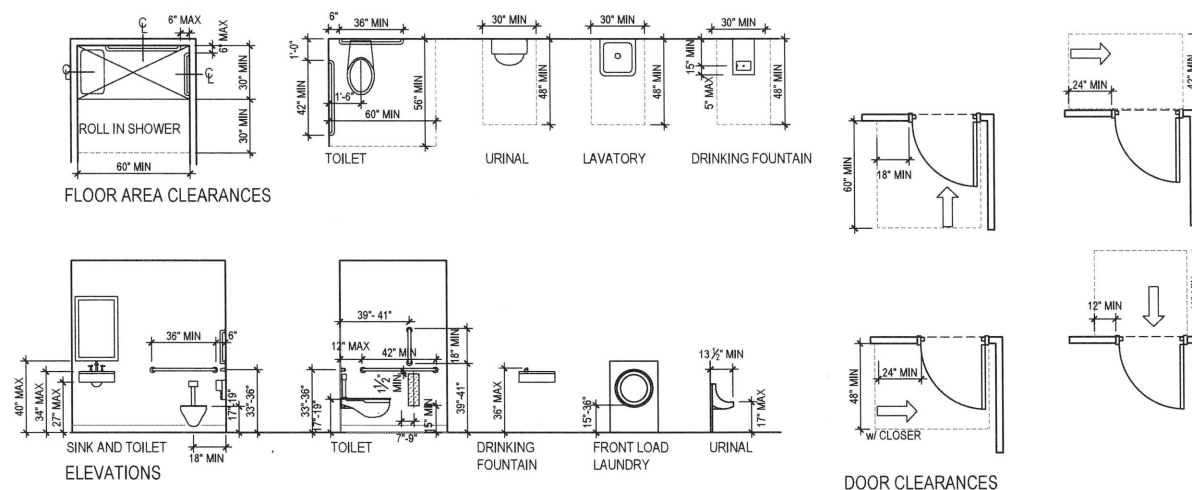
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SHEET NUMBER:

**A-1.01**



**1 MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

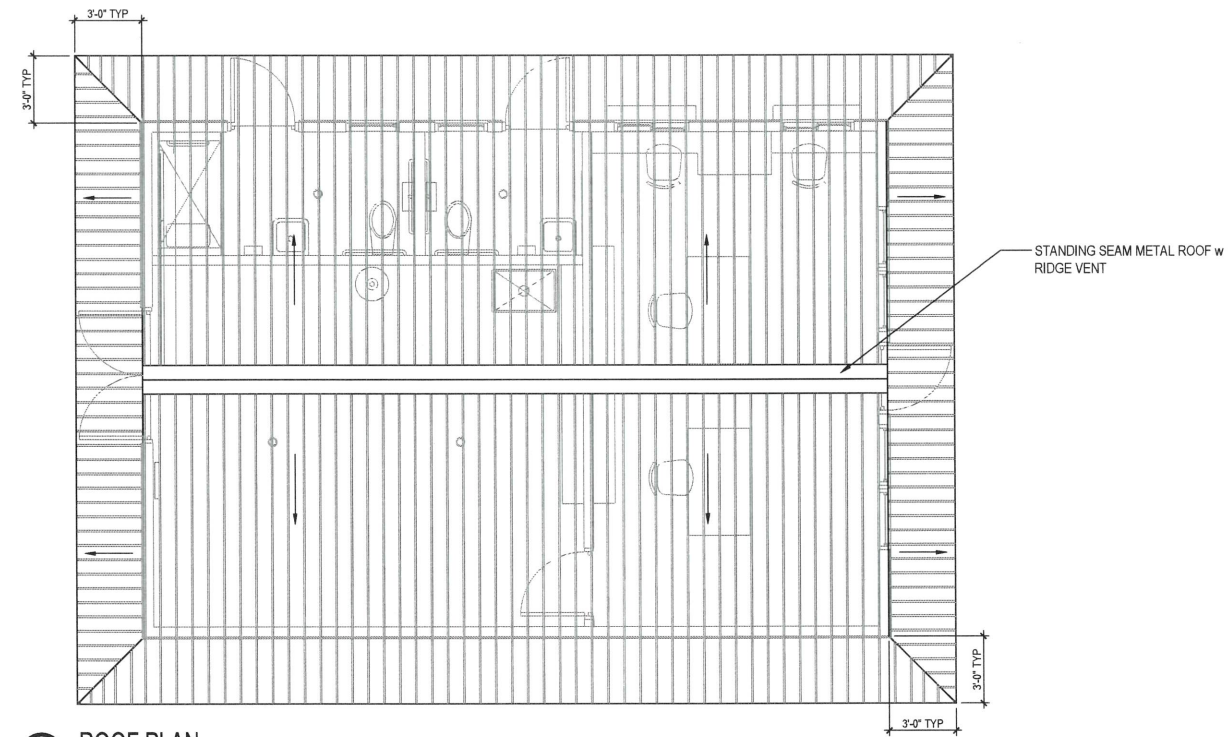


**ADA DESIGN GUIDELINES**

SCALE: NTS

**GENERAL NOTES:**

- ALL DIMENSIONS ARE TO FACE OF STUD, OR CENTER LINE OF CONCRETE OR STRUCTURE OR FOOTINGS UNLESS NOTED OTHERWISE
- FOUNDATIONS TO BE PER SITE CONDITIONS AND DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN
- TYPICAL WOOD FRAMED WALLS: 2 x 6 WD STUDS @ 16" O.C. w/ 7/16" EXTERIOR RATED, APA STAMPED, OSB/PLYWD SHEATHING, AIR AND MOISTURE BARRIER, NICHHA OR EQUAL FIBER CEMENT BOARD SIDING INSTALLED ON TRACK SYSTEM PER MFG INSTRUCTIONS
- ROOF: STANDING SEAM METAL ROOF SYSTEM ON 15# FELT ON 5/8" EXTERIOR RATED, APA STAMPED, 3/4" OSB/PLYWD SHEATHING ON TRUSSES AND FRAMING LAYOUT TO BE DESIGNED BY THE TRUSS MANUFACTURER'S STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN
- INSULATION R-VALUE PER 2015 MICHIGAN ENERGY CONSERVATION CODE
- PROVIDE BLOCKING IN ALL WALLS AND PARTITIONS WHERE REQUIRED FOR GRAB BARS, CABINETS, SHELVES, ACCESSORIES, DOOR STOPS AND ALL OTHER LOCATIONS
- WINDOWS AND DOORS- METAL STOREFRONT SYSTEM IN BRONZE - COLOR TO MATCH DISCOVERY PIER PAVILION
- FIELD VERIFY ALL SITE DIMENSIONS



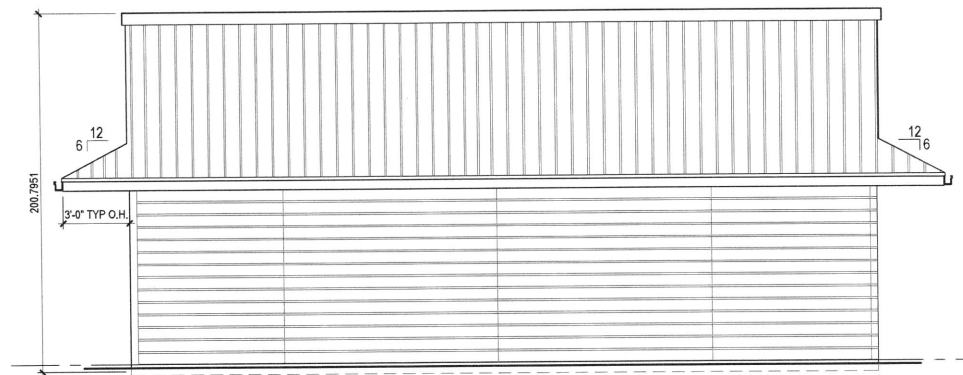
**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**BUILDING DATA**

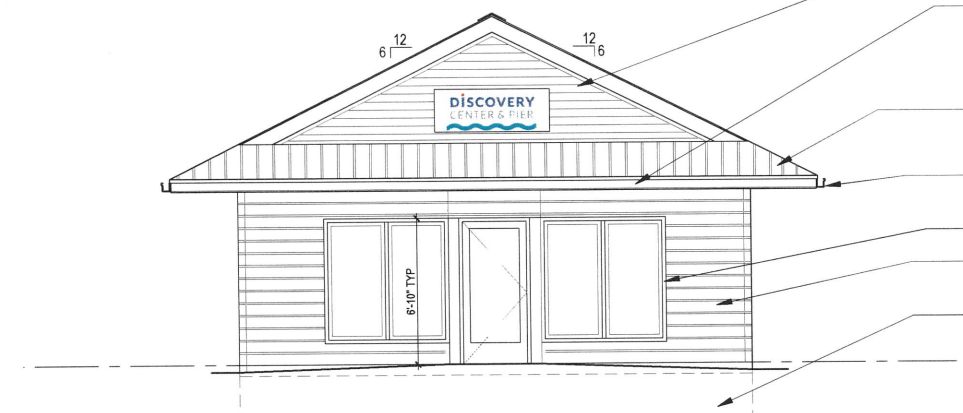
BUILDING CODE OR LATEST ADOPTED FOR LOCAL MUNICIPALITY: 2015 MICHIGAN BUILDING CODE (MBC) 2015 MICHIGAN PLUMBING AND MECHANICAL CODES 2014 MICHIGAN ELECTRICAL CODE 2015 MICHIGAN UNIFORM ENERGY CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN ICC ANSI A117.1		OCCUPANT LOAD MBC 1004.1.2	
NEW CONSTRUCTION: MUNICIPALITY: CHARTER TOWNSHIP OF ELMWOOD LEELANAU COUNTY, MICHIGAN		EGRESS REQUIREMENTS: NUMBER OF EXITS PER SPACE: MBC 1006.2.1 TABLE B USE GROUP < 49 OCCUPANTS: ONE EXIT ALLOWED w/ <100' COMMON PATH OF TRAVEL	
ZONED SHORELINE COMMERCIAL (SC) SETBACKS PER APPROVED PUD OVERLAY ON SC DISTRICT: TABLE 5.6 FRONT YARD (WEST FROM R.O.W): 15' PER TABLE 5.6, ALLOWED SIDE YARD (NORTH AND SOUTH FROM PROP LINE): 10' REAR YARD (EAST, WATER SIDE, FROM SHEETING): 10' PER PUD ALLOWED		DOOR SWING IN DIRECTION OF EGRESS WHERE OCCUPANT LOAD > 50 OCCUPANTS: MBC 1010.1.2	
SINGLE STORY, WOOD FRAMED STRUCTURE ON HELICAL PIER FOUNDATION BUILDING AREA: 864 SF BUILDING STORIES: 1-STORY BUILDING HEIGHT: 16'-9" (T/OF ROOF RIDGE)		BARRIER FREE COMPLIANCE: 2010 ADA STANDARDS + MBC CHP 11 ENERGY EFFICIENCY FOR ZONE 6 COMPLY w/ ASHRAE 90.1-2013: MBC 1301 & 2015 MUEC 402.1.3 R-VALUE/ U-VALUE ASHRAE TABLE 5.5-6	
OCCUPANCY AND USE GROUP: B - BUSINESS MBC 304.1		ROOF (WD TRUSSES w/ ENERGY HEEL) ATTIC INSULATION: R-49	
BUILDING TYPE: V-B MBC TABLE 601		WALLS: WOOD FRAMED U-0.051 / R-20 + 3.8 c.i.	
FIRE RESISTANCE RATINGS FOR CONSTRUCTION TYPE II-B: STRUCTURAL FRAME: 0 HR EXTERIOR BR'G WALLS: 0 HR INTERIOR BR'G WALLS: 0 HR NON BR'G EXTERIOR WALLS: 0 HR NON BR'G INTERIOR WALLS: 0 HR ROOF CONSTRUCTION: 0 HR		FLOORS: SLAB ON GRADE (UNHEATED) R-10 for 24 inches below MUEC C 402.2.5	
BUILDING HEIGHT AND AREA ALLOWED FOR USE GROUP B, TYPE V CONSTRUCTION (W/O AUTOMATIC SPRINKLER SYSTEM)		OPAQUE DOORS: SWINGING U-0.500 FENESTRATION (NON METAL): U-0.32 FENESTRATION MAX AREA: < 40% MUEC C 402.4.1	
ALLOWABLE HEIGHT: 40' MBC 504.3 ALLOWABLE STORIES: 2-STORIES MBC 504.4 ALLOWABLE AREA / FLR (NS): 9,000 SF / STORY MBC 506.2		PLUMBING FIXTURE MINIMUM NUMBER REQUIRED: NA FOR OUTDOOR USE PLUMBING FIXTURES PROVIDED:	
FIRE SEPARATION OF ACCESSORY USES: NOT REQUIRED MBC 508.2.4		FAMILY/ UNISEX UNIVERSAL DESIGN RESTROOMS (2): 2 WC / 2 LAV / 1 SHOWER	
FIRE RESISTANCE OF EXT. WALLS PER SEPARATION DISTANCE >= 30': 0 HR MBC TABLE 602		1 SERVICE SINK: DRINKING FOUNTAINS ARE NOT REQUIRED FOR OCCUPANCY < 15 PER 2015 MMC	
AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED MBC 903.2			
MANUAL FIRE ALARM SYSTEM: NOT REQUIRED MBC 907.2.2			



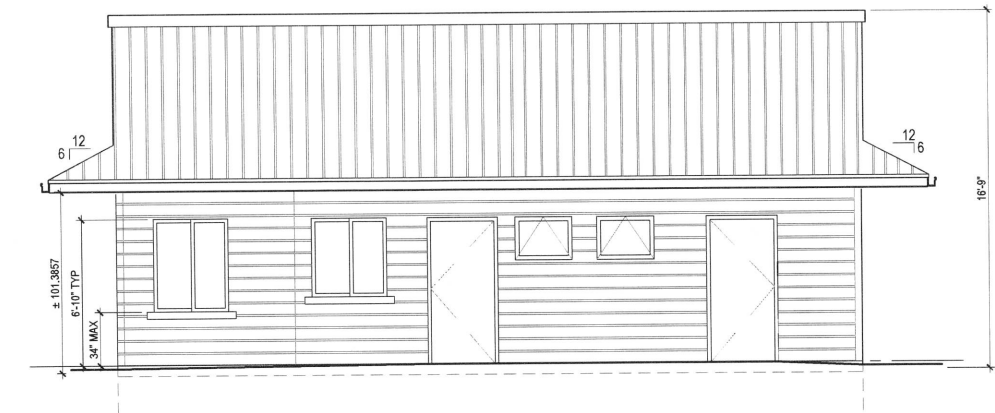
PROJECT TITLE:  
**DISCOVERY PIER MARINA**  
PHASE 2 RECONSTRUCTION PROJECT  
TRAVERSE CITY, MICHIGAN  
SHEET TITLE:  
TICKET OFFICE EXTERIOR ELEVATIONS



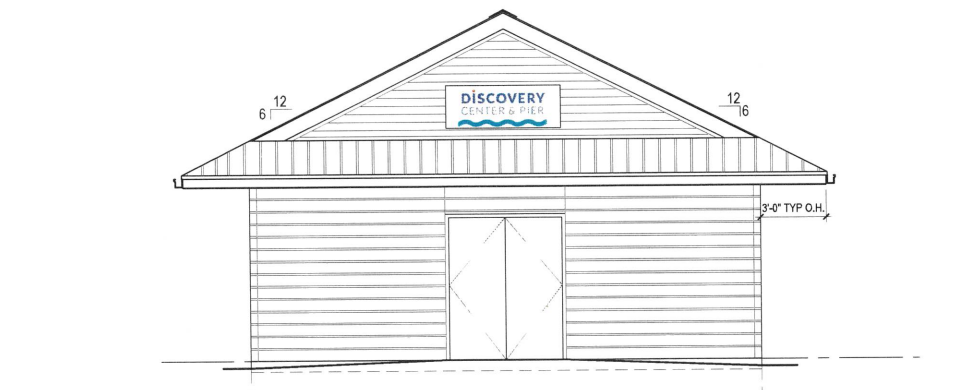
**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXTERIOR NOTES TYP:**

- NICHIHA FIBER CEMENT BOARD SIDING IN "NATURA RUSTIC WHITE" OR EQUAL
- LP SMART SIDE ENGINEERED WOOD OR COMPOSITE VENTED SOFFIT, AND FASCIA TO MATCH GABLE SIDING w/ FLASHING AT ALL HORIZONTAL INTERSECTIONS
- STANDING SEAM METAL ROOF
- METAL GUTTER ON LP SMART SIDE FASCIA, w METAL DRIP EDGE TO MATCH ROOF
- BRONZE STOREFRONT DOORS AND WINDOWS
- NICHIHA FIBER CEMENT BOARD "VINTAGEWOOD CEDAR" SIDING
- FOUNDATION SYSTEM: HELICAL PIERS
- PROVIDE FLASHING AT ALL WINDOW AND DOOR HORIZONTAL TRIM LOCATIONS



**TICKET OFFICE PERSPECTIVE NORTH EAST VIEW**



**TICKET OFFICE PERSPECTIVE SOUTH WEST VIEW**



PAC-CLAD, 24 ga. KYNAR 500, STANDING SEAM METAL ROOF IN "METALLIC SILVER"



NICHIHA FIBER CEMENT BOARD VINTAGEWOOD LAP SIDING IN "CEDAR"



GABLE ENDS NICHIHA FIBER CEMENT BOARD IN RUSTIC WHITE



STOREFRONT BRONZE WINDOWS AND DOORS

**EXTERIOR MATERIALS COLOR BOARD**

DATE	REVISION

ISSUED FOR:  
**SITE PLAN REVIEW**

DATE: 2/13/24	NORTH
PROJ NO.: 23-039	
SCALE: 1" = (AT 24"x36")	

DESIGNED BY: MR  
DRAWN BY: MR  
REVIEWED BY: CH

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SHEET NUMBER:

**A-2.01**



AFFIDAVIT

I, Matthew McDonough, Chief Executive Officer of The Discovery Center ~ Great Lakes, do hereby attest and certify that Discovery Pier Planned Development #PD 2021-05 was Approved on June 15, 2021, consisting of parcels 45-04-033-078-00, 45-04-033-079-00, described by Craig Pullen, Surveyor for GCES on 3-22-2016 as follows:

LEGAL DESCRIPTION COMBINED, AS-SURVEYED:

PART OF GOVERNMENT LOTS 1 AND 2, SECTION 33, TOWN 28 NORTH, RANGE 11 WEST, ELMWOOD TOWNSHIP, LEELANAU COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 33; THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 33 S01°23'49"W 1068.21 FEET; THENCE S88°56'05"E 1533.06 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY M-22; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE 98.97 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 2821.98 FEET, A DELTA ANGLE OF 02°00'34" AND A LONG CHORD BEARING S00°34'29"E 98.97 FEET; THENCE S88°42'53"E 76.01 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY M-22 AND THE POINT OF BEGINNING; THENCE S88°29'13"E 125.37 FEET; THENCE S89°39'37"E 413.33 FEET; THENCE S02°35'23"W 233.35 FEET; THENCE N88°06'37"W 204.53 FEET; THENCE N04°54'37"W 179.94 FEET; THENCE N50°00'37"W 31.12 FEET; THENCE N87°00'37"W 108.00 FEET; THENCE S59°42'23"W 36.48 FEET; THENCE S05°11'23"W 259.08 FEET; THENCE N88°25'37"W 134.61 FEET TO SAID EASTERLY RIGHT-OF-WAY LINE; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE N02°52'10"E 177.99 FEET; THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE 122.25 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 2897.98, DELTA ANGLE OF 02°25'01" AND A LONG CHORD BEARING N01°39'39"E 122.24 FEET TO THE POINT OF BEGINNING. CONTAINING 97365.57 SQUARE FEET OR 2.24 ACRES.

Subject to the following Conditions imposed by the Planning Commission:

A. When the Planning Commission makes a decision regarding a PD Plan in any zoning district a PD is allowed, they shall make them based on compliance with the standards in Article 9 and the following standards. If there is a conflict between these standards and the standards in Article 9, these standards shall prevail.

1. Land uses shall be consistent with the intent of the underlying zoning district and the Elmwood Township Master Plan and adopted sub-area plans.

**The Planning Commission finds that this standard has been met since it is located in a commercial zoning district and allows for the unique development of the land**

2. The PD shall meet the minimum land area requirements specified for the underlying zoning district.

**The Planning Commission finds that this standard has been met, the minimum lot area is provided.**

3. A PD shall comply with all dimensional and use regulations of the underlying zoning district, unless variations are otherwise approved by the Planning Commission. (Also see requirements for Rural Resort District Below) Such proposals shall be accompanied by supporting material demonstrating that the variations would provide equal or greater protection to adjacent or nearby properties.

**The Planning Commission finds that this standard is has been met with the condition that the tent cannot be more than 75 feet high, subject to review and approval of final review during site plan review of Phase 3. No logo on the tent. Event center details to be reviewed and approved with site plan review. Details include but are not limited to hours, time, noise, number of events and days allowed.**

4. The lands comprising a PD must be subject to unified ownership or control so that the person or legal entity applying for PD approval has proprietary responsibility for the completion of the development, if approved. If multiple persons or legal entities have ownership interests in the land, all such persons or entities shall sign the PD application. If the application is signed by a prospective purchaser or person who has optioned the land, written consent by all owners of the land must be submitted with the application.

**The Planning Commission finds that this standard has been met. It is under single ownership of Rotary.**

5. As provided for in this paragraph, except for on-site septic systems and wells, water supply and sanitary sewage disposal in and for a PD shall only be accomplished by public or community water supply and sanitary sewer systems. These must be approved by the Health Department and other agencies having jurisdiction and be in compliance with applicable Township ordinances. If approved by the Health Department, on-site septic systems and wells may be permitted for individual residential lots containing a single-family dwelling.

**The Planning Commission finds that this standard has been met because there is public water and public sewer provided in phase 1.**

6. The PD Plan must be consistent with the intent of this Article, as described in Section 7.2.1, and it must also represent a development opportunity for the community that could not be achieved through conventional zoning.

**The Planning Commission finds that this standard has been met since this is a unique, former industrial site and is held by a non-profit providing access to the Great Lakes. This development is not described in the current zoning ordinance.**

7. The PD Plan and its proposed uses must be compatible with the type, character, and density of land uses on adjacent and nearby lands based on the future land use map in the Elmwood Township Master Plan and adopted subarea plans.

**The Planning Commission finds that this standard has been met since this property is zoned commercial and the uniqueness of the pier and project in**

**this location. Primary uses are related to Great Lakes, water, conservation, fishing.**

8. The proposed PD must be compatible with the capacities of public services and facilities affected by the development.

**The Planning Commission finds that this standard has been met since the facilities are accurately sized for the size of the property and public utilities are provided.**

9. The proposed PD must preserve significant natural features, if any.

**The Planning Commission finds that there are limited significant features on this property.**

10. If a proposed PD lies partially outside the jurisdictional boundary of the township, then the minimum parcel size shall be based on the total size of the project and not just that portion located within the township.

**The Planning Commission finds that this is located within Elmwood Township.**

11. The proposed PD must provide for useable open space which meets the following standards:

- a. At least ten (10) percent of the parcel(s) acreage or square footage.  
**The Planning Commission finds that this standard has been met since 50% of the pier must remain open by deed restriction.**
- b. Acreage or square footage provided shall be for recreation use and shall be accessible to the occupants or users of the PD.  
**The Planning Commission finds that the entire site is open to the public for recreation uses.**
- c. No area which exceeds twelve (12) percent grade shall be allocated or designated as useable open space.  
**The Planning Commission finds that this standard has been met, there is very little grade change on site.**
- d. At least 40% of the total area required as usable open space shall be landscaped and maintained.  
**The Planning Commission finds that the site will be landscaped and maintained.**
- e. Any useable open space which is not planted shall be developed to encourage outdoor recreational use and shall include such elements as decks, sports courts, outdoor seating, decorative paved areas, and walkways which do not serve as entrance walkways.  
**The Planning Commission finds that this standard has been met since this is open for outdoor recreational uses. Fishing, access to water.**

f. No area designated for off-street parking and loading areas, service areas, driveways, required walkways, or portions thereof, or any features that are used for required access to dwelling units shall be counted as satisfying any useable open or recreation space area requirement.  
**The Planning Commission finds that this standard has been met, that parking is provided on site and off site and the Fire Department has reviewed.**

12. Landscaping must be provided to insure that proposed uses will be adequately buffered from one another and from surrounding public and private property meeting the minimum requirements of Section 6.4, as applicable.

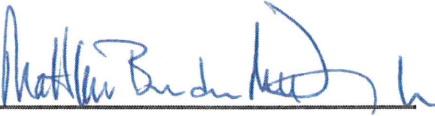
**The Planning Commission finds that because of the location of the pier in the water, that additional buffering is not required.**

13. Motor vehicle access to the uses within a PD shall be from interior roads only unless approved otherwise by the Planning Commission or the Leelanau County Road Commission. Safe, convenient and well-defined vehicular and pedestrian circulation within, and access to, the development must be provided.

**The Planning Commission finds that this standard has been met since the access to M-22 already exists.**

All Improvements will be carried out in accordance with the approved PD application, PD Plan, and PD Site Plan.

Dated this 8<sup>th</sup> of August, 2021

X 

Matthew Brendan McDonough  
Chief Executive Officer

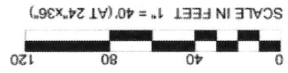
**Discovery Center ~ Great Lakes**

13170 S West Bayshore Dr  
Traverse City, MI 49684



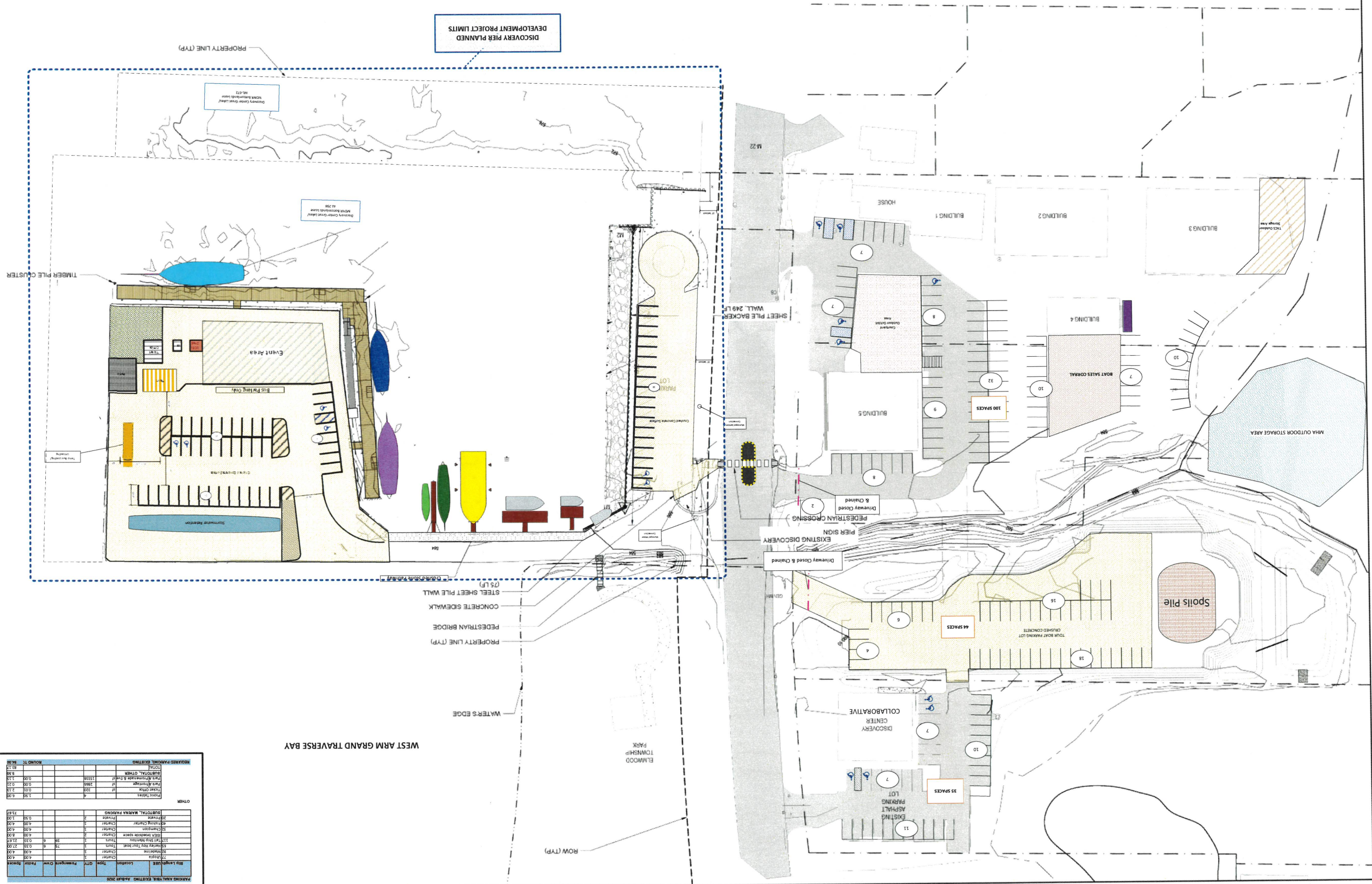
MARINE CONTROL POINTS			
CONTROL POINT	DIRECTION	EASTING	NORTHING
M1	NORTHING	19,355,156.0277	538,404.9516
M2	EASTING	19,355,146.0944	538,155.8660

- NOTES:
1. SURVEY PERFORMED BY OTHERS ON 3/30/2018 & 9/20/2019. AVERAGE WATER LEVEL ON DAY OF SURVEY WAS 580.32 (IGLD 85)
  2. HORIZONTAL DATUM IS NAD83 MI STATE PLANS, CENTRAL ZONE, INTERNATIONAL FOOT.
  3. VERTICAL DATUM IS NAVD83.
  4. IGLD85 - NAVD88: 0.19
  5. PROPERTY LINES ARE BASED ON SURVEY BY OTHERS.
  6. ALL ACCESS ROUTES, CLEARANCES, AND ACCESSIBLE SLIP DIMENSIONS SHALL COMPLY WITH THE 2010 STANDARDS FOR ACCESSIBLE DESIGN.



Applied: Discovery Center - Great Lakes  
 Owner: Discovery Center - Great Lakes  
 Drawn: MWW  
 Checked: MWW  
 Date: 11/15/2019

DISCOVERY PIER PLANNED DEVELOPMENT  
 EXISTING CONDITIONS



PARKING SPACES	
TYPE	QUANTITY
ASPHALT	11
CONCRETE	10
TOTAL	21

TOTAL SPACES BY ROW	
ROW	SPACES
ROW 1	11
ROW 2	10
TOTAL	21

**PD-EX**

SHEET NUMBER: \_\_\_\_\_

PLANNED DEVELOPMENT APPLICATION

ISSUED FOR: \_\_\_\_\_

NO.	DATE	REVISION

PROJECT TITLE: **DISCOVERY PIER PLANNED DEVELOPMENT**

SHEET TITLE: **TRAVERSE CITY, MI EXISTING SITE PLAN**











To: Elmwood Planning Commission  
From: Sarah Clarren, Planner / Zoning Administrator  
Date: 3/05/2024  
RE: SPR/SUP 2024-02, Bay View Distillery Tasting Room

---

Below you will find a staff report, using the template for Findings of Fact, for the Bay View Distillery Tasting Room SPR/SUP application. If the Planning Commission finds the application to be complete, the following motion may be used:

**Motion:** To schedule a public hearing for SPR/SUP 2024-02 Bay View Distillery Tasting Room at the next regularly scheduled meeting.

---

**ELMWOOD CHARTER TOWNSHIP  
PLANNING COMMISSION**

FINDINGS OF FACT, DECISION AND ORDER  
SPR/SUP 2024-02 Bay View Distillery Tasting Room

Applicant/ Owner:	Gallagher Farms LLC 9300 E Breithaupt Road Traverse City, MI 49684	Architect:	JML Design Group LTD. 225 E 16 <sup>th</sup> St Suite B Traverse City, MI 49684
----------------------	--	------------	---

Hearing Date: TBD

Case Number: SPR/SUP 2024-02 Bay View Distillery Tasting Room

PROPERTY DESCRIPTION

Parcel ID # 004-030-001-00 (8525 E Lincoln Road, 80.00 acres)\*.

The above referenced parcel is located in the Agricultural-Rural (A-R) Zoning District. The parcel is located in Section 19 of Elmwood Township.

\*Note: Throughout the Application, narrative, and plans, it indicates that the tasting room is sited on a 20-acre parcel, that is incorrect. Current conditions indicate that the parcel is 80 acres, not 20 acres. Many calculations are presented based on a 20-acre parcel that does not exist. Language in the revised IAS dated 2/27/24 calls this 20-acre parcel a proposed child parcel; the parcel has not been split and the Township Zoning Ordinance no longer requires splits go before the Planning Commission. Therefore, the Commission cannot make a determination on the split. Determinations on whether requirements have been met must be met on current conditions, especially considering there is a text amendment scheduled for public hearing that may change the requirements of a Distillery and Distillery Tasting Room.

APPLICATION

The application submitted by Gallagher Farms LLC, for a Distillery Tasting Room at their previously permitted Distillery (SPR 2023-09, approved at 9/26/23 meeting with minutes approved 10/24/23). Distillery Tasting Rooms are currently defined as “A Michigan licensed room used in conjunction, as an accessory use, with a distillery where a spirit is produced on-site, may be consumed or purchased.”

In the A-R Zoning District, it is a permitted use, through Site Plan Review (SPR) and with a Special Use Permit (SUP). This use has specific requirements and standards that must be met, in addition to standard requirements/standards within Article 8 (SPR) and Article 9 (SUP). At the time of filing, a text amendment to the Zoning Ordinance is in progress that, if approved, will modify requirements for Distilleries and Tasting Rooms. The Commission cannot grant approvals on a text amendment that is not yet in effect; this includes the proposed 2,500sq ft Tasting Area (indoor/outdoor) as indicated in the IAS. Assuming all standards/requirements of the Zoning Ordinance are met, the Commission can approve a Distillery Tasting Room that is indoors and is 2,000sq ft.

In reviewing the application, there are a few things to note. In regards to parking, Article 6.1.3 indicates that 1 parking space is required for every 3 people allowed by occupancy permit for a Tasting Room. The previously permitted distillery required 8 parking spaces (five spaces plus 1 per employee on largest shift). 25 spaces are shown on an annotated drawing (17 new parking spaces). The Cover Sheet states that occupancy for the A-2 (Assembly) is 47 persons; this equates to approximately 16 required spaces for the Tasting Room (1,100sqft, per cover sheet, 1,000sqft per measurements). 24 spaces are required for the uses; 25 spaces are shown on the plan. The Planning Commission can grant approval of the additional parking space as indicated by Section 6.1.2.H.1.b of the Ordinance. The IAS indicates that spaces will be delineated and calls out a future overflow/parking area—as they are not shown on the plan, the Commission cannot approve them.

#### **SECTION 9.8 ADDITIONAL REQUIREMENTS FOR CERTAIN SPECIAL LAND USES**

##### **L. Distillery Tasting Room (Amendment ZO 2017-04-03, Ordinance #2018-04, Effective November 9, 2018)**

The Township would like to encourage agriculturally related uses while preserving neighboring property owners' enjoyment of their land. Tasting rooms are permitted at distilleries provided that the proposed distillery tasting room complies with the following requirements:

1. The distillery is licensed or will be licensed prior to occupancy by the appropriate Federal, State, and Local agencies. *Typically conditioned*
2. The parcel shall have a minimum of 20 acres. *The application states "The distillery property (004-030-001-00); including proposed child parcel) contains 20 acres (gross) 18.05 (net) of an 80acre parcel. The total building coverage is 0.89% of the lot area and 0.2% of the 80 acre parcel" Much of this information is does not pertain to this requirement; regardless, the existing parcel is 80 acres and therefore this requirement is met.*
3. The distillery is operated according to generally accepted agricultural management principles and the parcel shall have a minimum of five (5) planted acres of crop that is used for the on-site production of spirits unless the Planning Commission determines that a different minimum is more appropriate to meet the standards of Section 9.3 for the reuse of existing commercial structures. *The narrative states "The proposed child parcel (net) 18.05 acres are in production of grape vines, cherry trees, alfalfa and clover. The applying parent parcel exceeds the minimum required (5) planted acres." Recommend conditioning.*
4. Tasting rooms shall not exceed two and one-half (2.5) percent of the lot area. *The narrative states "The tasting room is 20ft x 70ft which includes the bathroom facilities as required and a previously approved 5000sq ft patio." The patio has not been, nor can it currently be, approved as a tasting room as it is not a room. Despite this, the 1400sq ft proposed tasting room (and bathroom) equates to 0.032acres. The parcel size is currently 80acres, so this equates to 0.001% of the lot area.*

5. Setbacks shall be:
  - a. For any tasting room that adjoins a parcel where there is a residence, all tasting room structures and facilities shall be located at least 100 feet from the property line that adjoins a residence, and speakers and sound amplifiers shall be located at least 250 feet from the property line that adjoins a residence. *Met (approximately 1,000ft)*
  - b. For any tasting room that adjoins a parcel where there is a residence, if the residence is within 500 feet of any tasting room structure, there shall be a fence along the property boundary line that adjoins the residence to discourage trespass. *NA; approximately 1,000ft)*
  
6. The maximum size of tasting room shall be 2000 sq ft. *The narrative states “The tasting room is 20ft x 70ft with the inclusion of the required bathroom facilities. The previously approved outdoor patio will be modified from 5,000 to approximately 1,500 sq ft. the retail Tasting Room shall consist of a 20X50 indoor space and future 1,500 sq ft outdoor patio.” The current definition of Distillery Tasting Room is “A Michigan licensed room used in conjunction, as an accessory use, with a distillery where a spirit is produced on-site, may be consumed or purchased” (emphasis added). A patio is not a room and therefore according to current regulations, the tasting area cannot be outside. Further, the Applicant’s text proposes a 2,500sq ft Distillery Tasting Room. There is a text amendment that is currently going through the amendment process that (among other things) would increase the tasting room size to 2,500sq ft and would allow the tasting area to be inside and outside. However, those are not currently the regulations. If the applicant wants those regulations to apply, the decision on this application must wait until the text amendment is approved.*  
  
*As currently presented, the Distillery Tasting Room on the plans is 1,000sq ft–MET.*
  
7. The hours of operation shall be between the hours of 10 am and 10 pm unless the Planning Commission determines that different hours are more appropriate to meet the standards of Section 9.3. *The narrative states “The Tasting Room shall operate between 10 am and 10 pm.” Met.*
  
8. Retail sales and food service must be clearly accessory to production of the spirit being processed on-site. The tasting room may offer food service provided:
  - a. The area for serving food shall seat no more than twenty (20) patrons at one time. *The narrative states that “Seating will be delineated for service and shall remain accessory to alcohol production.” Recommended condition prior to issuance of a LUP as the plans show no delineation.*
  - b. Sale of food shall not exceed 10% of gross sales of licensed products. At the request of the Township, the business shall provide supporting documentation to the Township verifying compliance with this section. This section does not limit the Township’s ability to make documentation request in any other sections of the Zoning Ordinance. *The narrative states “The Tasting Room shall have a point of sale system that is able to track and report sales revenues.” Typically conditioned.*
  - c. Food service items shall be limited to appetizers and small plates. Carry-out foods are prohibited. *Typically conditioned.*
  - d. Distillery shall be licensed to prepare and serve food by the appropriate Health Agency. *Typically conditioned.*

9. Amplified sound (including amplified music) shall be contained indoors and shall not exceed reasonable volumes, so as to avoid disturbance to any neighboring residents. ***Typically conditioned.***
10. Lighting shall comply with Section 6.5. ***Typically conditioned (A2.1, A2.2 – show location and typical fixture and 9/5/23 letter submitted with Distillery application indicates “Decorative gooseneck shade canopy lights are provided around the building perimeter. The fixtures are downlights with no exposed bulbs.” Met.***
11. Any alcoholic beverages consumed or sold on-site must be produced on-site. ***Application states “All beverages consumed or sold will be produced onsite.”***
12. On-site parking shall be designed and constructed according to Article 6. ***The IAS is incorrect; 8 parking spaces were approved for the Distillery. The Cover Sheet states that occupancy for the A-2 (Assembly) is 47 persons; this equates to approximately 16 required spaces for the Tasting Room (1000sqft). 24 spaces are required for the uses; 26 spaces are shown on the plan. The Planning Commission can grant approval of the additional 2 parking spaces as indicated by Section 6.1.2.H.1.b of the Ordinance. The IAS indicates that spaces will be delineated and calls out a future overflow/parking area—as they are not shown on the plan, the Commission cannot approve them. The IAS indicates that snow storage will be in the retention basin south of the parking area.***

#### SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL

1. Applicant’s name, address, and telephone number. ***Provided (Application, IAS).***
2. Property owner’s name, address, telephone number, and signature. ***Provided (Application, IAS).***
3. Proof of property ownership, and whether there are any options or liens on the property. ***Provided (Staff confirmed via deed).***
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner’s agent. ***N/A***
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage. ***Provided (application, survey, IAS)***
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers. ***Provided (all sheets)***
7. Project title or name of the proposed development. ***Provided (Bay View Distillery Tasting Room (IAS))***
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing. ***Provided (IAS)***
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site. ***Provided (IAS)***
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance. ***Provided (IAS; Sheet A1.1)***
11. A vicinity map showing the area and road network surrounding the property. ***Provided (C-1.1)***
12. The gross and net acreage of the parcel. ***Provided (C1.2, but not accurate of existing conditions. Information provided is for a proposed split; Gross is currently 80acres. From an aerial, it appears net would***

*be more than 70acres.)*

13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels. ***Provided (Sheet A1.1).***
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations. ***Provided (survey, Plan; staff confirmed via deed; note that setbacks are provided, but not accurate of existing conditions. Information provided is for a proposed split.)***
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%. ***Provided (C1.1 (5' intervals))***
16. The location and type of existing soils on the site, and any certifications of borings. ***Provided (USGS Soil Map)***
17. Location and type of significant existing vegetation. ***Provided (C1.1 shows cherry orchard and 'treeline', but note that no detail on tree types for 'treeline'; worth noting that the plans are not an accurate representation of the vegetation currently onsite (see aerial).)***
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes. ***Provided (C1.1)***
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope. ***Provided (C-1.1 and narrative).***
20. Proposed location of all proposed structures, buildings, equipment, and uses. ***Provided (C-1.1 and narrative)***
21. Elevation drawings of typical proposed structures and accessory structures. ***Provided (A2.1)***
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets. ***Provided (C1.1)***
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property. ***Provided (C1.1; C1.2). Note that no easement is shown or provided over abutting property (004-030-002-10), but one was granted on 12/13/23.***
24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof. ***Provided (C1.2, A2.1, A2.2)***
25. Location, size, and characteristics of all loading and unloading areas. ***Provided (C1.2)***
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use. ***N/A***
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable). ***Provided (C1.2). Note that no fire hydrant shown; may be necessary as deemed appropriate by Fire Department / Building Safety.***
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam. ***Provided (C1.2)***
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as

community buildings or swimming pools, if applicable. *N/A*

30. Location, size, and specifications of all signs and advertising features, including cross-sections. ***Provided (IAS; “No additional road signage will be required at this time other than an address update.”***
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used. ***Provided (A2.1, A2.2 – show location and typical fixture and 9/5/23 letter from previous approval indicated “Decorative gooseneck shade canopy lights are provided around the building perimeter. The fixtures are downlights with no exposed bulbs.”***
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown. ***Provided (C1.2)***
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate. ***Provided (9/5/23 letter submitted with Distillery application states “No new perimeter or internal landscaping is proposed. the distillery is nestled in the existing orchard. Existing vegetation is to remain.”***
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities. ***Provided (C1.2)***
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities. ***Provided 9/5/23 letter submitted with Distillery application states “There will not be any chemical, salts, or other hazardous material. Alcohol is considered a Class 1B flammable liquid. Refer to NAFA 30, Section 13.3.1 (8.4.35). A distance of 200 ft horizontal separation is required”***
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved. ***Provided (C1.1)***
37. North arrow, scale, and date of original submittal and last revision. ***Provided (various sheets)***

#### SECTION 8.5 REVIEW AND APPROVAL (For Site Plan Review)

B. Standards for Site Plan Approval. The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article.
2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval. Further, all applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met or can be made a condition of site plan approval.
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.
4. Compliance with all non-zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.
5. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.



6. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.
7. All buildings and structures are accessible to emergency vehicles.
8. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.
9. The percentage of impervious surface has been limited on the site to the extent practicable.
10. Efforts have been made to protect the natural environment to the greatest extent possible.
11. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.
12. The proposal furthers the goals and objectives of the Master Plan.

### **SECTION 9.3 STANDARDS, REQUIREMENTS AND FINDINGS**

The Planning Commission shall review the particular circumstances of the special land use permit application in accordance with the requirements of this Article and Article 8. Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all of the General Standards and Specific Requirements listed below:

#### **A. General Standards.**

1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located.
2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district.
3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located.
4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers.
5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses.
6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources.
7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services.
8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements.
9. The following specific requirements shall be met to the extent applicable to the proposed special land use:

- a. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:
  - i. Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts;
  - ii. Proximity and relation of driveway to intersections;
  - iii. Minimization of pedestrian and vehicular traffic conflicts;
  - iv. Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management.
  - v. Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks;
  - vi. Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels.
  - vii. Adequate maneuverability and circulation for emergency vehicles.
- b. Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site.

#### CONDITIONS OF APPROVAL

##### Decision

Charter Township of Elmwood  
Application for Special Use Permit

**Applicant**

Gallagher Farms LLC  
Name  
9300 E Breithaupt Road  
Street Address  
Traverse City MI 49684  
City State Zip  
2313603243  
Phone Number  
jgallagheriii@hotmail.com  
Email Address

**Owner (if different)**

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Street Address  
\_\_\_\_\_  
City State Zip  
\_\_\_\_\_  
Phone Number  
\_\_\_\_\_  
Email Address

**Engineer**

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Street Address  
\_\_\_\_\_  
City State Zip  
\_\_\_\_\_  
Phone Number  
\_\_\_\_\_  
Email Address

**Surveyor**

\_\_\_\_\_  
Name  
\_\_\_\_\_  
Street Address  
\_\_\_\_\_  
City State Zip  
\_\_\_\_\_  
Phone Number  
\_\_\_\_\_  
Email Address

Contact Person (All communications from the Township will be sent to this individual regarding the submitted application)  Applicant  Owner  Engineer  Surveyor

**Property Information:**

Property Address: 8525 E Lincoln Road  
Parcel Number: 45-004-030 - 001 - 00 Current Master Plan Designation Rural Low Density  
Zoning District: AR Current Use of Property: Preapproved Distillery  
Active farm.

Adjacent Property Zoning AND Use(s): North: SEE ATTACHED  
East: \_\_\_\_\_  
South: \_\_\_\_\_  
West: \_\_\_\_\_

Other Remarks: Please refer to previously approved  
distillery application.  
\_\_\_\_\_  
\_\_\_\_\_

**CHARTER TOWNSHIP OF ELMWOOD**

**Planning and Zoning**

10090 E. Lincoln Rd, Traverse City, MI 49684

(231) 946-0921 Fax (231) 946-9320

Email: planner@elmwoodtownship.net

The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Benzie-Leelanau District Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator.

**Affidavit:**

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, and that the answers and statements herein contained and the information submitted are in all respects true and correct. In addition, the undersigned represents that he/she or they is authorized and does hereby grant a right of entry to Township officials for the purpose of inspecting the premises and uses thereon for the sole purpose of gathering information regarding this request.

John Gallagher \_\_\_\_\_  
Owner Signature Date 2/8/24

\_\_\_\_\_  
Applicant Signature Date

**OFFICE USE ONLY:**

Case Number: \_\_\_\_\_ Fee: \_\_\_\_\_ Paid: \_\_\_\_\_  
PC Decision: \_\_\_\_\_ Date: \_\_\_\_\_



**A PROPOSED DISTILLERY  
at GALLAGHER FARMS**

**IMPACT ASSESSMENT STATEMENT**

OWNER:  
Gallagher Farms. LLC  
9300 E. Breithaupt Road  
Traverse City, Michigan 49686

PREPARED BY OWNER:  
January 24, 2024  
REVISED February 27, 2024

*John Gallagher  
Gallagher Farms LLC  
9300 E Breithaupt Road  
Traverse City, MI 49684  
231-342-1351*

## **Proposed Project**

Gallagher Farms (BAY VIEW DISTILLERY) is proposing to add a distillery tasting room to our existing farm building. The distillery will utilize the fruit produced on-site to produce various distilled spirits. The design of the distillery structure is intended to look like a barn in keeping with the surrounding agricultural area. This report contains the anticipated physical impacts of a proposed distillery on the immediate project area.

The existing overall Gallagher Farms LLC site contains 383.93 contiguous acres. The distillery child parcel contains 20 acres (gross) 18.05 (net) of an 80-acre parcel. The property is currently zoned (A-R) agricultural. The width of the property is 654 feet. The required minimum width was 125 feet. The distillery is regulated by the Michigan Liquor Control Commission and requires a site plan review with the Planning Commission's approval. The small distiller license will be applied for and will be obtained prior to use.

The proposed site will have little impact on existing infrastructure. The distillery tasting room will have (3) full-time workers. Traffic will be increased as the public will be invited to the facility. The natural environment will be maintained. There is no impact on the surrounding site as the distillery is completely contained within the Gallagher Farms LLC site.

Property Tax Number is 45-004-030-001-00. The legal description for the overall property is:

N 1/2 OF THE NE 1/4 OF SEC 30, TOWN 28N, R11W, WITH 80 ACRES more or less. The 80-acre parcel is intended to be split into (2) 20 acre parcels and a 40 acre parcel. A

legal description of the 20 acres will be provided. The distillery building

site is owned by Gallagher Farms, LLC.

The distillery building site contains approximately (20) acres which is the minimum size allowed. Additionally, (5) acres of land will be required for growing crops to be used for the onsite production of spirits. This standard is met, as most of the 20 acres are existing fruit trees and vineyards. The Gallagher Farms are being operated utilizing generally accepted agricultural management principles.

The site is located on the top of a hill. The grade changes significantly in three directions. The northeast affords a view to both the east and west arms of Grand Traverse Bay. The view is aided by the existence of an abandoned gravel pit with a subsequent lack of trees. The pit is characterized by steep slopes with a flat bottom.

The overall parcel is to be accessed from East Lincoln Road. An existing gravel road was priorly improved from E. Lincoln Road across the overall farm to the subject site.

The proposed distillery is to be contained in a 7,000 SQFT (1) story, 35'-0" high, wood-framed structure. The building coverage is 0.89% of the 20 acre lot area and 0.2% of the 80 acre parcel. The project will utilize the priorly approved existing structure and improvements by the planning commission.



The distillery is set back from the property lines as follows:

Front setback:	e	. the required setback is 25
Rear setback:	d	ft. the required setback is 10
Side setback:		ft. the required setback is 10
Side setback:	s	ft.
	e	
408 ft.	t	
777 ft.	b	
257 ft.	a	
320 ft.	c	
t	k	
h		
e	i	
	s	
r		
e	5	
q	0	
u		
i	f	
r	t	

The nearest residence is approximately 1000 ft. to the west

### **Parking**

Parking requirements for this use are (20) spaces plus (1) space per number of employees on the largest shift. A total of (26) spaces are requested with consideration for the maximum allowed. The parking is on gravel; therefore, actual spaces will be delineated east to west. The calculations are based on a 9 ft. x 20 ft. space per vehicle with a 20 ft. aisle. The ADA parking space and aisle are concrete. A loading/unloading area is shown to the side of the structure. There is no loading dock and the area does not interfere with the public use of a dedicated public street and therefore is not enclosed.

Future and overflow parking will be delineated in the orchard space immediately west of the parking lot, in between the driveways.

The building is surrounded by existing vegetation and cherry orchard. Existing vegetation is to remain. The building is 1,575 ft off of Lincoln Road and is hidden due to vegetation and topography. No perimeter of internal landscaping is required.

Snow storage is provided in the retention basin south of the parking area.

### **Traffic/Access**

An existing entrance off of E. Lincoln Road will be used to access the site. The entrance was installed to meet the requirements of a commercial driveway, as required by the Leelanau County Road Commission. This entrance to the driveway allows for a 500-foot viewing distance. The road was graded to maintain a no greater than 11% grade. In this fashion, ingress and egress

for emergency vehicles is maintained.

Access is across several properties. The properties are all owned and operated by the same entity. An ingress/egress easement has been prepared to allow for legal access and has been recorded.

Agency review letters including site plans were sent to the following entities:

1. Soil Erosion and Sedimentation Control/Leelanau County Drain Commissioner'
2. Benzie-Leelanau District Health Department
3. Leelanau County Road Commission
4. Elmwood Township Fire Department.

## **Soils**

The soils of the site are alfisols and spodosols. The soils are characterized as moderately leached soils that have relatively high native fertility. No soil borings have been made.

## **Vegetation**

The existing vegetation is cherry trees. No significant trees will be affected by the proposal.

## **Drainage**

The storm water management plan will be reviewed as impervious areas are developed. A water course has been identified on the EGLE map. However, water is not contained in the drainage swale (or creek) year-round.

## **Sanitation: Sewer**

The Distillery will be serviced by a septic field and tank. A perk test was conducted, a system was designed, and a permit was issued.

## **Water**

The Distillery will be serviced by a private 6" well.

## **Utilities**

The distillery will be serviced with electricity. Existing electrical lines and transformers will be added. Propane will service the building. Low-pressure gas from a tank is located west of the parking area.

## **Waste Management**

An on-site dumpster will be utilized. A trash dumpster enclosure has been provided.

## **Hazardous Materials**

No hazardous materials are utilized onsite. The alcohol being produced is considered a Class IB flammable liquid. A distance of 200 ft. is required for horizontal separation (per NFPA 30 Section 13.3.1). The nearest residential house is approximately 1000 feet away from the distillery site.

## **Signage**

No additional road signage will be required at this time other than an address update.

## **Schedule**

The intent is to construct the distillery in the first quarter of 2024. All necessary licensing will be obtained. The building will be erected and assembled for final occupancy and the proper licensing from the State and Federal Government to approve the new manufacturing/tasting room facility. Upon successful completion, the building will be used to process, distill, and store various distilled spirits. A tasting room will be open when enough inventory is on hand to warrant welcoming the public to the facility.

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**GALLAGHER FARMS LLC. REVISED 02/27/2024**

**SECTION 9.8 ADDITIONAL REQUIREMENTS FOR CERTAIN SPECIAL LAND USES**

Several land uses require additional requirements that must be met in addition to the Standards, Requirements, and Findings in Section 9.3. These additional standards are listed below.

**L. Distillery Tasting Room (Amendment ZO 2017-04-03, Ordinance #2018-04, Effective November 9, 2018)**

The Township would like to encourage agriculturally related uses while preserving neighboring property owners' enjoyment of their land. Tasting rooms are permitted at distilleries provided that the proposed distillery tasting room complies with the following requirements:

1. The distillery will be licensed prior to occupancy by the appropriate Federal, State, and Local agencies.
2. The parcel shall have a minimum of 20 acres. THE DISTILLERY PROPERTY (004-030-001-00; INCLUDING PROPOSED CHILD PARCEL) CONTAINS 20 ACRES (GROSS) 18.05 (NET) OF AN 80 ACRE PARCEL. THE TOTAL BUILDING COVERAGE IS 0.89% OF THE LOT AREA AND 0.2% OF THE 80 ACRE PARCEL.
3. The distillery is operated according to generally accepted agricultural management principles and the parcel shall have a minimum of five (5) planted acres of crop that is used for the on-site production of spirits unless the Planning Commission determines that a different minimum is more appropriate to meet the standards of Section 9.3 for the reuse of existing commercial structures. THE PROPOSED CHILD PARCEL (NET) 18.05 ACRES ARE IN PRODUCTION OF GRAPE VINES, CHERRY TREES, ALFALFA AND CLOVER. THE APPLYING PARENT PARCEL EXCEEDS THE MINIMUM REQUIRED (5) PLANTED ACRES.
4. Tasting rooms shall not exceed two and one-half (2.5) percent of the lot area. THE TASTING ROOM IS 20FT X 70FT WHICH INCLUDES THE REQUIRED BATHROOM FACILITIES AS REQUIRED AND A PREVIOUSLY APPROVED 5000 SQ FT PATIO WILL BE MODIFIED TO APPROXIMATELY 1,500 SQ FT. SEE ATTACHED SCHEDULES. THE PROPOSED APPLICATION TASTING ROOM APPLICATION IS APPROXIMATELY 0.89% OF THE 20 ACRE CHILD PARCEL AND 0.2% OF THE PARENT 80 ACRE PARCEL.
5. Setbacks shall be:
  - a. For any tasting room that adjoins a parcel where there is a residence, all tasting room structures and facilities shall be located at least 100 feet from the property line that adjoins a residence, and speakers and sound amplifiers shall be located at least 250 feet from the property line that adjoins a residence. PLEASE SEE ATTACHED SITE PLAN.
  - B. For any tasting room that adjoins a parcel where there is a residence, if the residence is within 500 feet of any tasting room structure, there shall be a fence along the property boundary line that adjoins the residence to discourage trespass. THE NEAREST RESIDENCE IS APPROXIMATELY OVER 1000 FEET AWAY, PLEASE SEE ATTACHED SITE PLAN.
6. The maximum size of tasting room shall be 2000 sq ft. THE TASTING ROOM IS 20 FEET X 70 FEET WITH THE INCLUSION OF THE REQUIRED BATHROOM FACILITIES. THE PREVIOUSLY APPROVED OUTDOOR PATIO WILL BE MODIFIED FROM 5,000 TO APPROXIMATELY 1,500 SQ FT. THE RETAIL TASTING ROOM SHALL CONSIST OF A 20X50 INDOOR SPACE AND FUTURE 1,500 SQ FT OUTDOOR PATIO.

7. The hours of operation shall be between the hours of 10 am and 10 pm unless the Planning Commission determines that different hours are more appropriate to meet the standards of Section 9.3. THE TASTING ROOM SHALL OPERATE BETWEEN 10 AM AND 10 PM.
8. Retail sales and food service must be clearly accessory to production of the spirit being processed on-site. The tasting room may offer food service provided:
  - A. The area for serving food shall seat no more than twenty (20) patrons at one time. SEATING WILL BE DELINEATED FOR FOOD SERVICE AND SHALL REMAIN ACCESSORY TO ALCOHOL PRODUCTION.
  - B. Sale of food shall not exceed 10% of gross sales of licensed products. At the request of the Township, the business shall provide supporting documentation to the Township verifying compliance with this section. This section does not limit the Township's ability to make documentation request in any other sections of the Zoning Ordinance. THE TASTING ROOM SHALL HAVE A POINT OF SALE SYSTEM THAT IS ABLE TO TRACK AND REPORT SALES REVENUES.
  - C. FOOD SERVICE ITEMS SHALL BE LIMITED TO APPETIZERS AND SMALL PLATES. CARRY-OUT FOODS ARE PROHIBITED.
- d. Distillery shall be licensed to prepare and serve food by the appropriate Health Agency. THE TASTING ROOM SHALL BE PERMITTED THROUGH THE LEELANAU BENZIE HEALTH DEPARTMENT AND MDARD THROUGH THE FOOD SAFETY PROGRAM AS REQUIRED.
9. AMPLIFIED SOUND (INCLUDING AMPLIFIED MUSIC) SHALL BE CONTAINED INDOORS AND SHALL NOT EXCEED REASONABLE VOLUMES, SO AS TO AVOID DISTURBANCE TO ANY NEIGHBORING RESIDENTS.
10. LIGHTING SHALL COMPLY WITH SECTION 6.5.
11. Any alcoholic beverages consumed or sold on-site must be produced on-site. ALL BEVERAGES CONSUMED OR SOLD WILL BE PRODUCED ON-SITE.
12. On-site parking shall be designed and constructed according to Article 6.

#### **SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL**

The following information shall be provided with the site plan as indicated, unless waived by the Zoning Administrator when such information is not applicable. The site plan must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less. Required site plan elements shall include:

1. Applicant's name, address, and telephone number.
2. Property owner's name, address, telephone number, and signature.
3. Proof of property ownership, and whether there are any options or liens on the property.
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent.
5. The address and/or parcel number of the property, complete legal description and dimensions of the

property, width, length, acreage, and frontage.

6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers.
7. Project title or name of the proposed development.
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing.
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site.
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance.
11. A vicinity map showing the area and road network surrounding the property.
12. The gross and net acreage of the parcel.
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels.
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations.
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%.
16. The location and type of existing soils on the site, and any certifications of borings.
17. Location and type of significant existing vegetation.
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes.
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope.
20. Proposed location of all proposed structures, buildings, equipment, and uses.
21. Elevation drawings of typical proposed structures and accessory structures.
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets.
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property.
24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof.

25. Location, size, and characteristics of all loading and unloading areas.
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use.
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable).
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam.
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable.
30. Location, size, and specifications of all signs and advertising features, including cross-sections.
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used.
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown.
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate.
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities.
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities.
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved.
37. North arrow, scale, and date of original submittal and last revision.

#### **SECTION 8.5 REVIEW AND APPROVAL**

- A. All applications for site plan approval shall be reviewed against the standards and requirements of this Ordinance. Only when satisfied that the application meets all standards and requirements shall the Planning Commission approve, or approve with conditions, an application for site plan approval to ensure the health, safety, and welfare of the residents of Elmwood Township.
- B. **Standards for Site Plan Approval.** The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:
  1. All required site plan and application information has been provided as specified in this Article.



2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval. Further, all applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met or can be made a condition of site plan approval.
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.
4. Compliance with all non-zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.
5. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.
6. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.
7. All buildings and structures are accessible to emergency vehicles.
8. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.
9. The percentage of impervious surface has been limited on the site to the extent practicable.
10. Efforts have been made to protect the natural environment to the greatest extent possible.
11. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.
12. The proposal furthers the goals and objectives of the Master Plan.

### **SECTION 9.3 STANDARDS, REQUIREMENTS AND FINDINGS**

The Planning Commission shall review the particular circumstances of the special land use permit application in accordance with the requirements of this Article and Article 8. Approval of the special land use application shall be contingent upon approval of the site plan and a finding of compliance with all of the General Standards and Specific Requirements listed below:

#### **A. General Standards.**

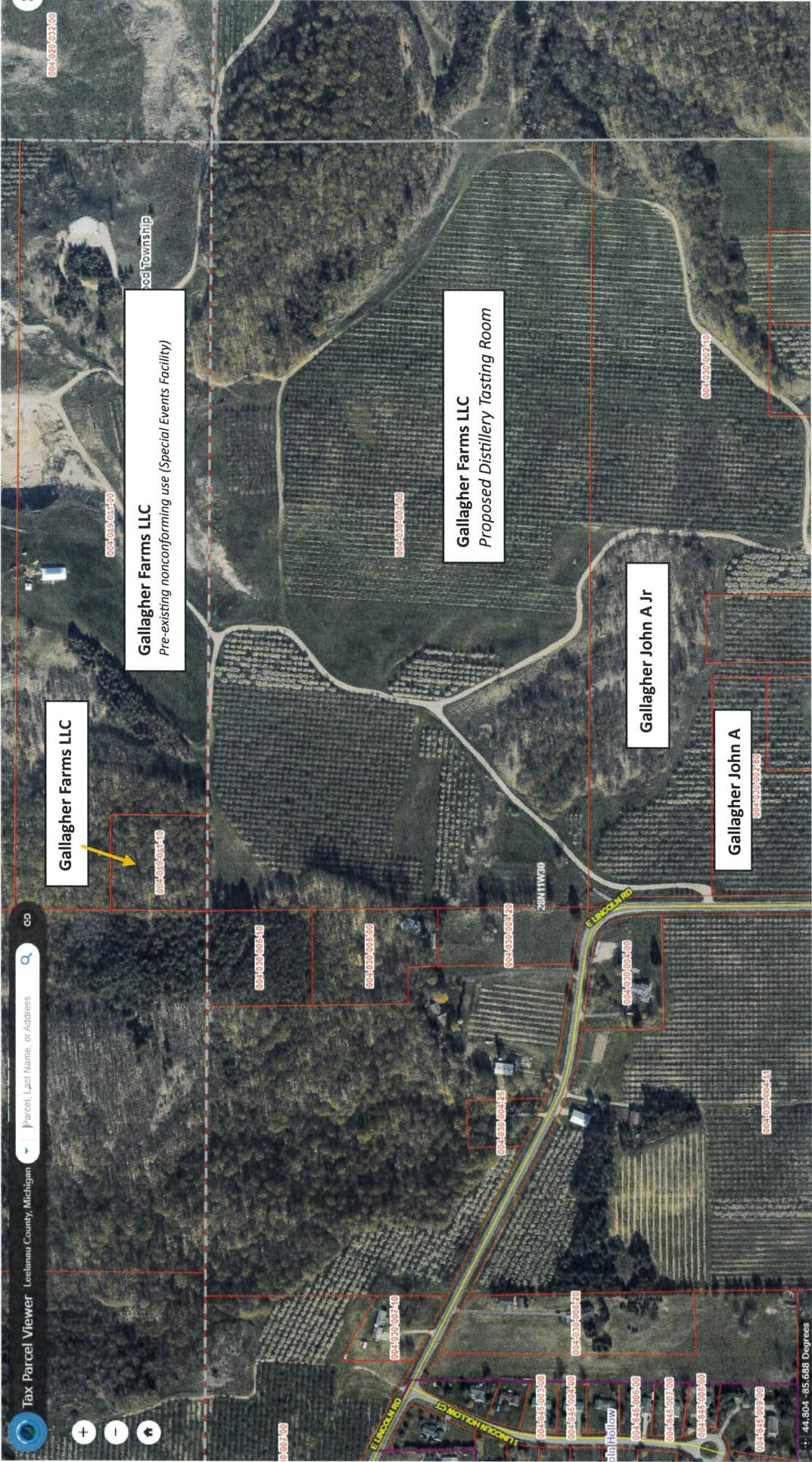
1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located. **THE PROPOSED USE IS AN EXPANSION USE OF AN EXISTING BUILDING APPROVED 2023.7**
2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district. **THE PROPOSED LAND USE EXPANDS THE USE OF THE EXISTING STRUCTURE TO**

ALLOW CUSTOMERS TO USE IT. THE EXISTING BUILDING IS A MODERN TOBACCO BARN AND SHALL BE MAINTAINED IN A MANNER CONSISTENT WITH THE CHARACTER OF THE ZONING DISTRICT.

3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located. THE EXISTING BUILDING THAT WAS APPROVED IN THE FALL OF 2023 MEETS THE REQUIREMENTS.
4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers. THE TASTING ROOM WILL BE SERVED BY A PREAPPROVED PRIVATE ROAD, WELL AND SEPTIC PERMIT.
5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses. THE PROPOSED LAND USE WILL ENHANCE THE SURROUNDING AREA BY MAINTAINING AN AGRICULTURAL PRESENCE IN THE COMMUNITY.
6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources. NO
7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services. NO
8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements. YES
9. The following specific requirements shall be met to the extent applicable to the proposed special land use: TASTING ROOM SHALL USE PREAPPROVED ROAD ACCESS OFF OF LINCOLN.
  - a. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:
    - a. Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts;
    - b. Proximity and relation of driveway to intersections;
    - c. Minimization of pedestrian and vehicular traffic conflicts;
    - d. Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management.
    - e. Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks;
    - f. Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels.
    - g. Adequate maneuverability and circulation for emergency vehicles.

- b. Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site. TASTING ROOM SHALL MAINTAIN AN AGRICULTURAL GREENBELT.





Tax Parcel Viewer Leelanau County, Michigan

Parcel, Last Name, or Address



Gallagher Farms LLC

Gallagher Farms LLC  
Pre-existing nonconforming use (Special Events Facility)

Gallagher Farms LLC  
Proposed Distillery Tasting Room

Gallagher John A Jr

Gallagher John A

Jocel Township

004-503-003-00

004-503-001-40

004-503-001-40

004-503-005-00

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44.804 -85.688 Degrees



# EGLE Wetlands Map Viewer

Department of Environment, Great Lakes, and Energy

[Map View](#) [Search Tools](#) [Share](#)

[Help Legend](#) [Base Maps](#) [About](#)

## Basemaps

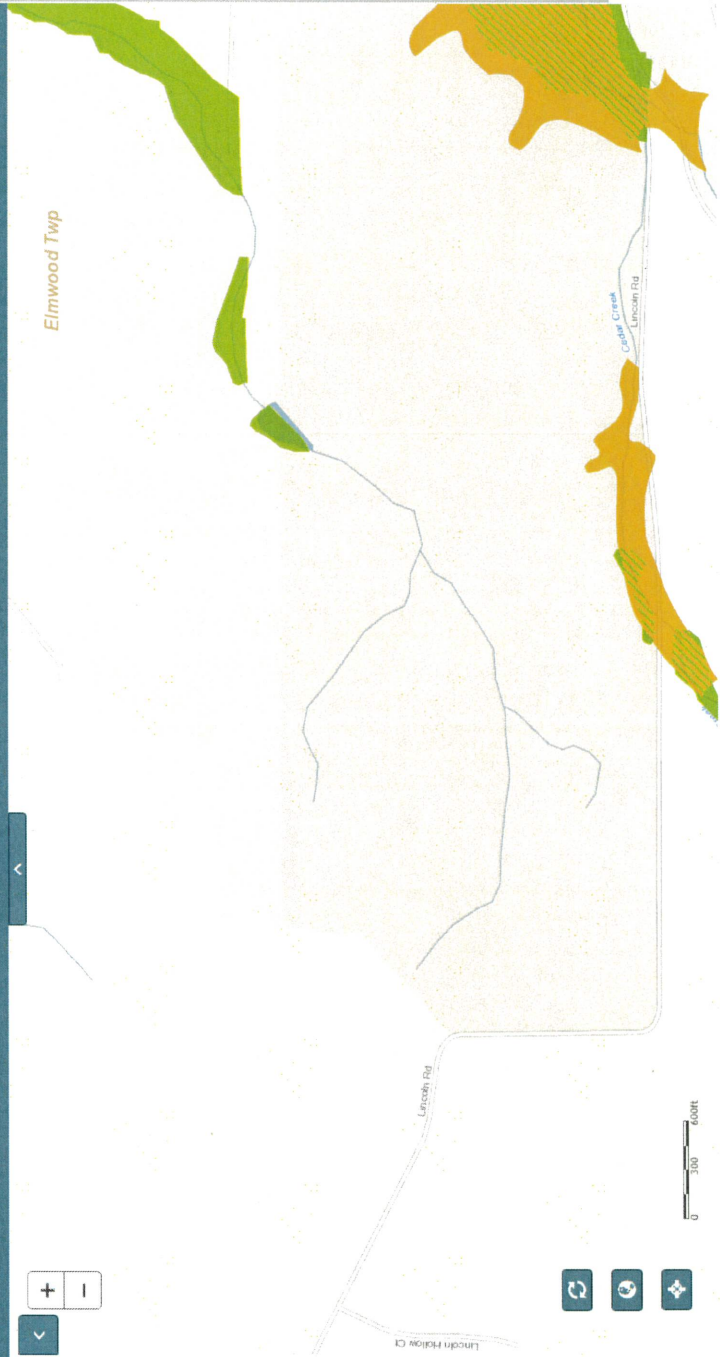
**Street** Hybrid Hi-Res

Topo Plat.\* Elevation

1998 2005 2009 2010

2012 2014 2016 2018 2020

\* Rockford PLAT maps are only available at zoom levels greater than 13.



# EGLE Wetlands Map Viewer

Department of Environment, Great Lakes, and Energy

- Map View
- Search Tools
- Share
- Map Legend
- Base Maps
- About

## Basemaps

Street | **Hybrid** | Hi-Res

Topo | Plat | Elevation

1998 | 2005 | 2009 | 2010

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





















\* Rockford PLAT maps are only available at zoom levels greater than 13.





Soil Map—Leelanau County, Michigan  
(0 E Lincoln Road)

**MAP LEGEND**

<b>Area of Interest (AOI)</b>	 Spoil Area
 Area of Interest (AOI)	 Stony Spot
<b>Soils</b>	 Very Stony Spot
 Soil Map Unit Polygons	 Wet Spot
 Soil Map Unit Lines	 Other
 Soil Map Unit Points	 Special Line Features
<b>Special Point Features</b>	<b>Water Features</b>
 Blowout	 Streams and Canals
 Borrow Pit	<b>Transportation</b>
 Clay Spot	 Rails
 Closed Depression	 Interstate Highways
 Gravel Pit	 US Routes
 Gravelly Spot	 Major Roads
 Landfill	 Local Roads
 Lava Flow	<b>Background</b>
 Marsh or swamp	 Aerial Photography
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

**MAP INFORMATION**

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Leelanau County, Michigan  
Survey Area Data: Version 16, Aug 26, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 2, 2020—Nov 12, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
ArB	Alcona-Richter sandy loams, 2 to 6 percent slopes	5.5	1.8%
EaC	East Lake loamy sand, 6 to 12 percent slopes	0.2	0.1%
EnB	Emmet-Leelanau complex, 2 to 6 percent slopes	16.2	5.2%
EnC	Emmet-Leelanau complex, 6 to 12 percent slopes	17.8	5.7%
EnD	Emmet-Leelanau complex, 12 to 18 percent slopes	9.3	3.0%
EnE	Emmet-Leelanau complex, 18 to 25 percent slopes	2.9	0.9%
EnF	Emmet-Leelanau complex, 25 to 50 percent slopes	24.9	8.0%
KaE	Kaleva sand, 18 to 35 percent slopes	10.0	3.2%
KmB	Kiva-Mancelona gravelly sandy loams, 2 to 6 percent slopes	11.9	3.8%
LIB	Leelanau-East Lake loamy sands, 0 to 6 percent slopes	36.3	11.7%
LIC	Leelanau-East Lake loamy sands, 6 to 12 percent slopes	17.1	5.5%
LID	Leelanau-East Lake loamy sands, 12 to 18 percent slopes, lake moderated	39.5	12.7%
LIE	Leelanau-East Lake loamy sands, 18 to 25 percent slopes, lake moderated	53.8	17.3%
LIF	Leelanau-East Lake loamy sands, 25 to 45 percent slopes	41.6	13.4%
MdB	Mancelona sandy loam, 0 to 6 percent slopes	0.1	0.0%
MdC	Mancelona sandy loam, 6 to 12 percent slopes	1.5	0.5%
MIB	Mancelona-East Lake loamy sands, 0 to 6 percent slopes, lake moderated	16.2	5.2%
MIF	Mancelona-East Lake loamy sands, 25 to 45 percent slopes	5.2	1.7%
WID	Wind eroded land, steep	1.5	0.5%
<b>Totals for Area of Interest</b>		<b>311.2</b>	<b>100.0%</b>



DOCUMENT NO. 2023005426

Total Pages: 5  
12/14/2023 11:14 AM Fees: \$30.00  
JENNIFER L. GRANT, Register of Deeds  
Leelanau County, MI



## REAL ESTATE EASEMENT AGREEMENT

THIS AGREEMENT is made on December 13, 2023, by and between John A Gallagher JR of 9300 E Breithaupt Road, Traverse City, Michigan 49684, hereinafter ("Grantor"), and Gallagher Farms LLC of 9300 E Breithaupt Road, Traverse City, Michigan, 49684 hereinafter ("Grantee").

### Recitals

A. The Grantor is the owner of certain real property commonly known as PID 004-030-002-10; E Lincoln Road, Cedar, Michigan, 49621, and more fully described as follows: PT S 1/2 OF NE 1/4 SEC 30 COM E 1/4 COR SD SEC TH N 00 DEG 30'08" W ALG E SEC LN 715.06 FT TO POB TH CONT N 00 DEG 30'08" W 613.92 FT M/L TO N 1/8 LN TH W ALG N 1/8 LN 2660 FT M/L TO N-S 1/4 LN TH S 00 DEG 47'45" E ALG N-S 1/4 LN 421.00 FT M/L TO A PT THAT IS N 00 DEG 47'45" W 910 FT FROM CENTER SD SEC TH S 89 DEG 39'25" E 790.46 FT TH S 00 DEG 15'31" W 834.07 FT TH 47.06 FT ALG ARC OF 30.00 FT RAD CRV TO RIGHT (CHORD=S 45 DEG 11'57" W 42.38 FT) TO N R/W LINCOLN RD TH S 00 DEG 15'31" W 30.91 FT TO E-W 1/4 LN TH S 89 DEG 44'29" E ALG E-W 1/4 LN 126.00 FT TH N 00 DEG 15'31" E 31.18 FT TO N R/W LINCOLN RD TH 47.19 FT ALG ARC OF 30.00 FT RAD CRV TO RIGHT (CHORD=N 44 DEG 48'03" W 42.47 FT) TH N 00 DEG 15'31" E 877.38 FT TH S 89 DEG 44'29" E 232.28 FT TH S 00 DEG 15'31" W 664.52 FT TH S 89 DEG 44'29" E 208.21 FT TH S 00 DEG 15'31" W 49.04 FT TH S 89 DEG 44'29" E 404.53 FT TH N 00 DEG 15'31" E 489.99 FT TH S 89 DEG 44'29" E 960.37 FT TO POB SEC 30 T28N R11W 42 A M/L 2008 SPLIT INTO 004-030-002-20, 004-030-002-30, 004-030-002-40, 004-030-002-50, 004-030-002-60, 004-030-002-70 AND 004-030-002-80 WITH REMAINING PARCEL RETAINING PARCEL NUMBER 004-030-002-10 ON ALTERED LEGAL, (Servient Estate).

B. The Grantee is the owner of certain real property commonly known as PID 004-030-001-00; E Lincoln Road, Cedar, MI 49621, Gallagher Farms LLC, N 1/2 OF NE 1/4 SEC 30 T28N R11W 80 A M/L, ("Dominant Estate").

C. The Grantee desires to acquire certain rights in the Servient Estate.

### 1. Grant of Easement

Grantor hereby grants to Grantee an easement on and across the following-described portion of the Servient Estate: SEE ATTACHED

### 2. Character of Easement

It is the intention of the parties that the easement granted appurtenant to the Dominant Estate, in that the easement benefits the use and enjoyment of the Dominant Estate by providing an essential means of access to the property.

### **3. Purpose of Easement**

The easement will benefit the Grantee by providing an essential means of access to the property.

### **4. Limitations**

It is expressly agreed that the easement, rights, and privileges conveyed to Grantee are limited to providing access to the Grantee's property.

### **5. Exclusiveness of Easement**

The easement, rights, and privileges granted by this easement are exclusive, and Grantor covenants not to convey any other easement or conflicting rights within the area covered by this grant, or nonexclusive, and Grantor reserves and retains the right to convey similar easement and rights to such other persons as Grantor may deem proper.

### **6. Termination**

This easement may be terminated by written agreement signed by all owners of record and other successors to the respective interests of Grantor and Grantee in the Dominant and Servient Estates. Grantee, his/her heirs, successors, and assigns may execute and record a release of this easement at any time. This easement shall also terminate if the purposes of the easement cease to exist, are abandoned by Grantee, or become impossible to perform.

### **7. Entire Agreement**

This instrument contains the entire agreement between the parties relating to the rights granted and the obligations assumed. Any oral representations or modifications concerning this instrument shall be of no force and effect. Any modification of this Agreement must be in writing and must be signed by both parties.

The parties have executed this agreement on the above mentioned date.

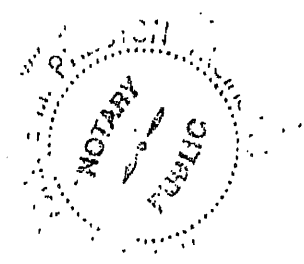
GRANTOR:

By: John A. Gallagher JR Date: 12-13-23  
John A Gallagher JR

STATE OF MICHIGAN )  
COUNTY OF Leelanau )SS

The foregoing was acknowledged, subscribed and sworn personally before me on this  
13<sup>th</sup> day of Dec. 2023 by John A. Gallagher Jr.

Connie M. Preston  
Connie M. Preston, Notary Public  
Leelanau County, Michigan  
My Commission Expires: 10-7-2026  
Acting in Leelanau County, MI



By: John A. Gallagher III  
John A Gallagher III  
Gallagher Farms LLC

Date: 12/13/23

STATE OF MICHIGAN )  
COUNTY OF Leelanau )SS

The foregoing was acknowledged, subscribed and sworn personally before me on this  
13<sup>th</sup> of Dec. 2023 by John A Gallagher III

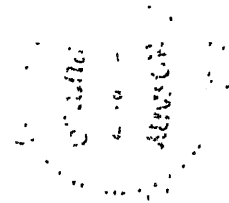
Connie M Preston

Connie M Preston, Notary Public

Leelanau County, Michigan

My Commission Expires: 10-7-2026

Acting in Leelanau County, MI



Drafted by:  
John A Gallagher III  
8855 E Strang Road  
Traverse City, MI 49684



# EASEMENT

2023005426  
12/14/2023 11:14 AM Page 5 of 5

THE N $\frac{1}{2}$ , NE $\frac{1}{4}$ , SEC. 30, T 28 N, R 11 W,  
ELMWOOD TWP., LEELANAU CO., MICHIGAN.



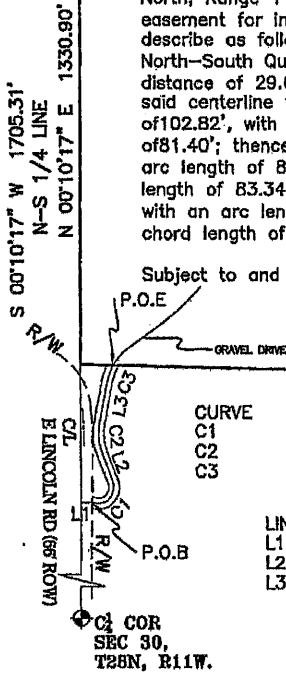
N $\frac{1}{2}$  COR  
SEC 30,  
T28N, R11W.

NE COR  
SEC 30,  
T28N, R11W.

**PROPOSED EASEMENT:**

Subject to and together with an easement in part of the Northeast Quarter, Section 30, Town 28 North, Range 11 West, Elmwood Township, Leelanau County, Michigan; the centerline of a 30' wide easement for ingress/egress, installation and maintenance of private or public utilities is more fully describe as follows: Commencing at the the North quarter corner of said section; thence along the North-South Quarter line of said section S00°10'17"W a distance of 1705.31'; thence S89°49'43"E a distance of 29.63' to the Right-Of-Way of E Lincoln Rd and the Point Of Beginning; thence along said centerline the following 23 courses; with a curve turning to the left with an arc length of 102.82', with a radius of 44.48', with a chord bearing of N45°24'18"E, with a chord length of 81.40'; thence N21°46'45"W a distance of 80.22'; thence with a curve turning to the right with an arc length of 84.53', with a radius of 145.16', with a chord bearing of N05°05'46"W, with a chord length of 83.34'; thence N11°27'49"E a distance of 116.67'; thence with a curve turning to the right with an arc length of 87.79', with a radius of 146.69', with a chord bearing of N28°42'58"E, with a chord length of 86.48' to the Point Of Ending.

Subject to and together with any other easements, encroachments and/or restrictions if any.



N 1/8 LINE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	
C1	44.48'	102.82'	81.40'	N 45°24'18" E	132°27'03"	
C2	145.16'	84.53'	83.34'	N 05°05'46" W	33°21'57"	
C3	146.69'	87.79'	86.48'	N 28°42'58" E	34°17'21"	

LINE	BEARING	DISTANCE
L1	N 89°49'43" W	29.63'
L2	S 21°46'45" E	80.22'
L3	N 11°27'49" E	116.67'

**LEGEND:**

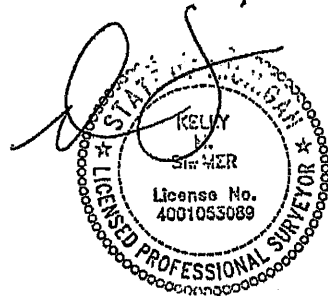
- = FOUND 1/2" REBAR
- ⊕ = FOUND MONUMENT
- = SET 1/2" REBAR & CAP
- △ = SET PK NAIL
- ▲ = FOUND PK NAIL
- (R) = PREVIOUSLY RECORDED AS
- (M) = MEASURED

BEARINGS : NAD 83, SPC, MI  
CENTRAL

BEARINGS & DISTANCES ARE  
SHOWN AS MEASURED UNLESS  
OTHERWISE STATED.



SCALE: 1" = 400'



**SIMMER**  
LAND SURVEYING

Kelly M. Simmer, PS  
Professional Land Surveyor

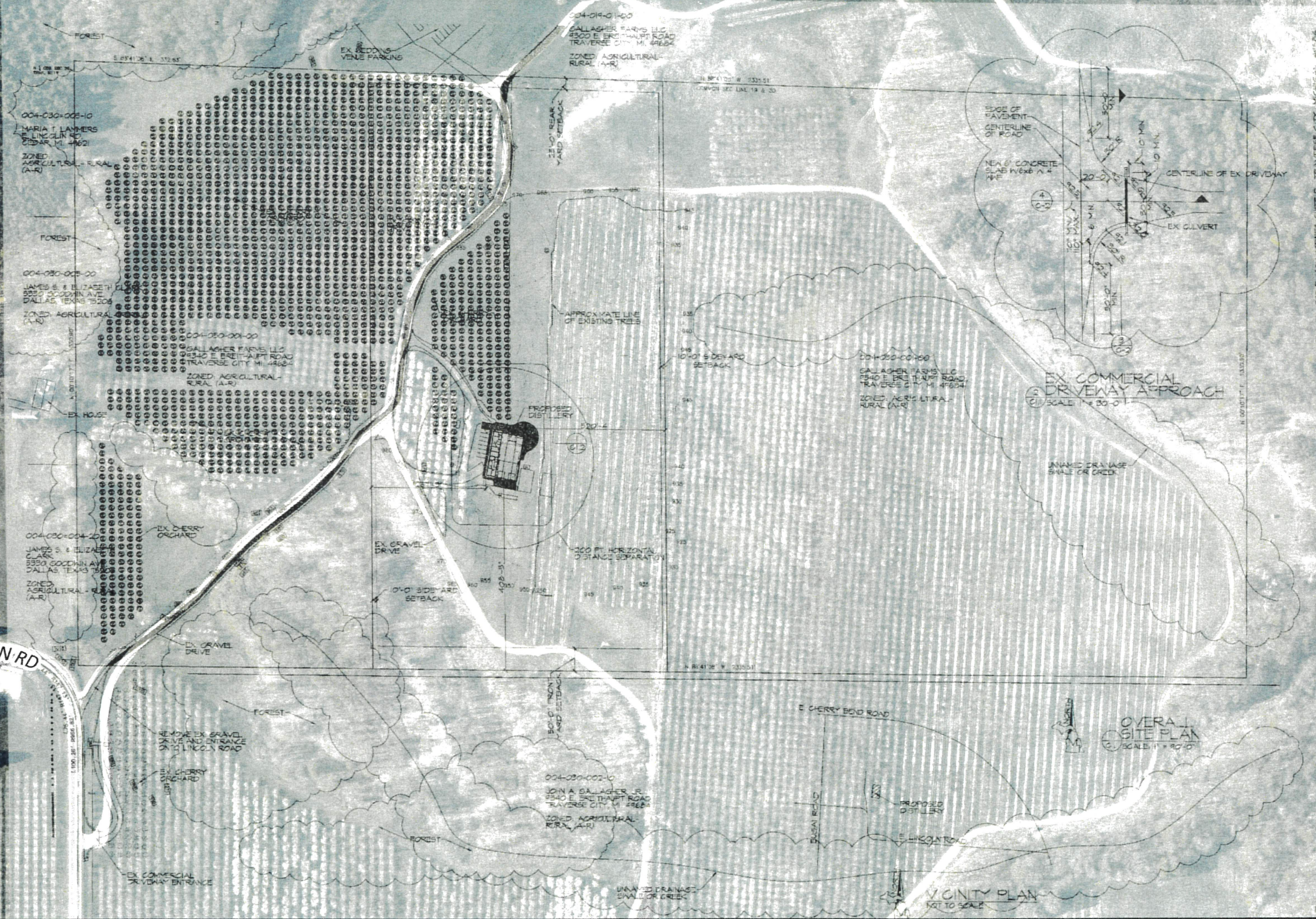
404 W. Mesick Ave • Mesick, MI 49668  
Cell: (231) 429-4914  
ksimmer@simmerlandsurvey.com

CERTIFIED TO:	DRAWN: IRA	JOB 489823B
GALLAGHER FARMS I LC	NOV. 21, 2023	SHEET 1 OF 2
LAND DIVISION TO BE APPROVED BY GOVERNING MUNICIPALITY		



004-030-001-00

Elmwood Township, Leelanau County



DESIGN GROUP LTD. 211 E. 15TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49604

DATE: 06/16/23

PROJECT: GALLAGHER FARMS LLC, 2540 E. BERTHA RD., TRAVERSE CITY, MI 49604

SCALE: 1/8" = 30'-0"

SCALE: 1/4" = 30'-0"

SCALE: 1/2" = 30'-0"

SCALE: 1" = 30'-0"

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SCALE: 8192" = 30'-0"

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# PROPOSED DISTILLERY FOR GALLAGHER FARMS TRAVERSE CITY, MICHIGAN

**ARCHITECT:**

JML DESIGN GROUP, LTD.  
225 E. 16TH STREET, SUITE B  
TRAVERSE CITY, MI. 49684  
PHONE: (231) 947-9019  
EMAIL: jmlgdg@att.net

**OWNER:**

JOHN A. GALLAGHER, III  
8855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN  
49686

**CONTACT:**

MR. JOHN A. GALLAGHER, III  
PHONE: (231) 360-3243

**LIST OF DRAWINGS:**

- C1.1 COVER SHEET
- C1.2 OVERALL SITE PLAN
- C1.2 ENLARGED SITE PLAN
- A1.1 FLOOR PLAN
- A1.2 UPPER ROOF PLAN
- A1.3 REFLECTED CEILING PLAN
- A1.4 REFLECTED CEILING PLAN
- A1.5 PATIO PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 TOILET DETAILS
- A6.1 SCHEDULES
- S1.1 FOUNDATION PLAN
- S1.2 FOUNDATION DETAILS
- S1.3 ROOF FRAMING PLAN
- S1.4 UPPER ROOF FRAMING PLAN
- S1.5 FRAMING DETAILS
- S1.6 TIMBER TRUSS DETAILS
- M1.1 MECHANICAL PLAN
- M1.2 MECHANICAL PLAN
- E1.1 ELECTRICAL PLAN
- E1.2 ELECTRICAL DETAILS
- PI.1 PLUMBING PLAN
- PI.2 PLUMBING DETAILS
- FP1.0 TANK DETAILS
- FP1.1 TANK DETAILS

BUILDING PLANNING		
BUILDING CODE REQUIREMENTS CONFORMS TO	2015 MICHIGAN BUILDING CODE	
BUILDING USE GROUP	(F-1) FACTORY; (S-1) STORAGE (A-2) ASSEMBLY	
CONSTRUCTION CLASSIFICATION	TYPE 5B	
FIRE SUPPRESSION SYSTEM	NO FIRE SUPPRESSION REQUIRED	
BUILDING ALLOWED	TABULAR SF	FRONTAGE INCREASE SF
ALLOWED S.F.	N/A	
TOTAL ALLOWED S.F.	F-1: 8,500 SF; S-1: 9,000 SF; A-2: 6,000 SF.	
STORIES ALLOWED	F-1: (1) STORY; S-1: (1) STORY; A-2: (1) STORY	
HEIGHT ALLOWED	40'-0"	
BUILDING CONTAINS		
ACTUAL S.F.	F-1: 5,169 SF; S-1: 731 SF; A-2: 1,100 SF.	
ACTUAL STORIES	7,000 SF TOTAL	
ACTUAL HEIGHT	(1) STORY	
OCCUPANT LOAD	35'-0"	
FIRE RESISTANCE RATINGS		
PRIMARY STRUCTURE FRAME	(0) HOURS	
EXTERIOR BEARING WALL	(0) HOURS	
INTERIOR BEARING WALL	(0) HOURS	
NON-BEARING WALLS/PARTITIONS	(0) HOURS	
FLOOR CONSTRUCTION	(0) HOURS	
ROOF CONSTRUCTION	(0) HOURS	
TENANT SEPARATION WALLS	(2) HOURS	
GENERAL NOTES		

PLUMBING CALCULATIONS	
F-1: MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES	
(1) WATER CLOSET	(1) WATER CLOSET
A-2: MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES	
MALE: (37) PERSONS	FEMALE: (37) PERSONS
(1) WATER CLOSET	(1) WATER CLOSET
(1) LAVATORY	(1) LAVATORY
(1) SERVICE SINK	
(1) HIGH/LOW DRINKING FOUNTAIN	

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

scale:  
AS NOTED  
drawn:  
CFC/JEB/MD

architect:  
JML DESIGN GROUP, LTD.  
phone: (231) 947-9019  
e-mail: jmlgdg@att.net

revision:  
06/16/23 ISSUED FOR PERMITS/PRICING  
10/12/23 ISSUED FOR PERMITS/PRICING

owner information:  
JOHN A. GALLAGHER, III  
8855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN  
49686

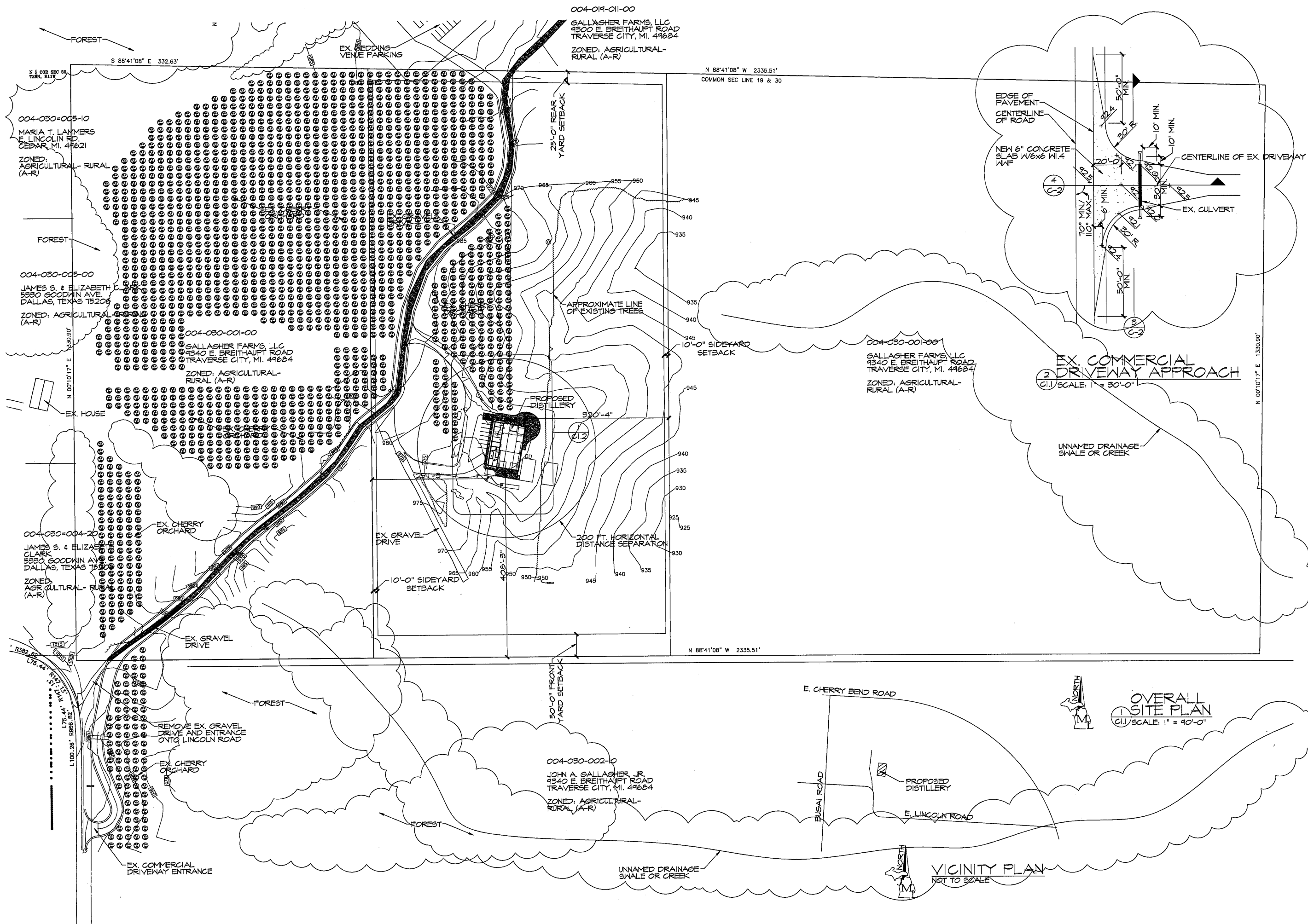
project location:  
8855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN  
49686

sheet title:  
COVER SHEET  
project name:  
GALLAGHER DISTILLERY

0 preliminary  
● construction

date:  
06/16/23  
sheet:  
COVER





EX. COMMERCIAL DRIVEWAY APPROACH  
 (2) SCALE: 1" = 30'-0"

OVERALL SITE PLAN  
 (1) SCALE: 1" = 90'-0"

VICINITY PLAN  
 NOT TO SCALE

004-019-011-00  
 GALLAGHER FARMS, LLC  
 9300 E. BREITHAUP ROAD  
 TRAVERSE CITY, MI. 49684  
 ZONED: AGRICULTURAL-RURAL (A-R)

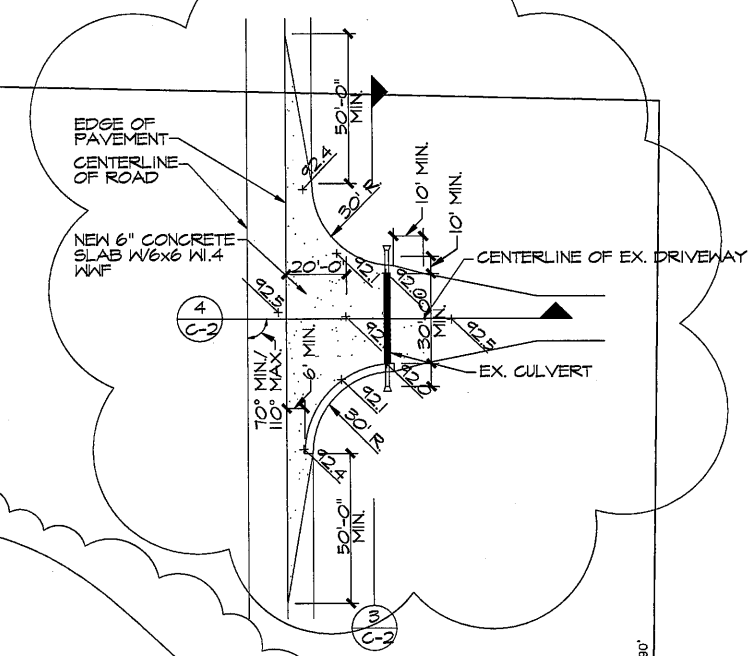
004-030-005-10  
 MARIA T. LANMERS  
 E. LINCOLN RD.  
 CEDAR MI. 49621  
 ZONED: AGRICULTURAL-RURAL (A-R)

004-030-005-00  
 JAMES S. & ELIZABETH CLARK  
 5330 GOODWIN AVE.  
 DALLAS, TEXAS 75206  
 ZONED: AGRICULTURAL-RURAL (A-R)

004-030-001-00  
 GALLAGHER FARMS, LLC  
 9340 E. BREITHAUP ROAD  
 TRAVERSE CITY, MI. 49684  
 ZONED: AGRICULTURAL-RURAL (A-R)

004-030-004-20  
 JAMES S. & ELIZABETH CLARK  
 5330 GOODWIN AVE.  
 DALLAS, TEXAS 75206  
 ZONED: AGRICULTURAL-RURAL (A-R)

004-030-002-10  
 JOHN A. GALLAGHER JR.  
 9340 E. BREITHAUP ROAD  
 TRAVERSE CITY, MI. 49684  
 ZONED: AGRICULTURAL-RURAL (A-R)



JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

sheet title: **OVERALL SITE PLAN**  
 project name: **GALLAGHER DISTILLERY**

project location: 8555 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 owner information: JOHN A. GALLAGHER, III, 8555 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686

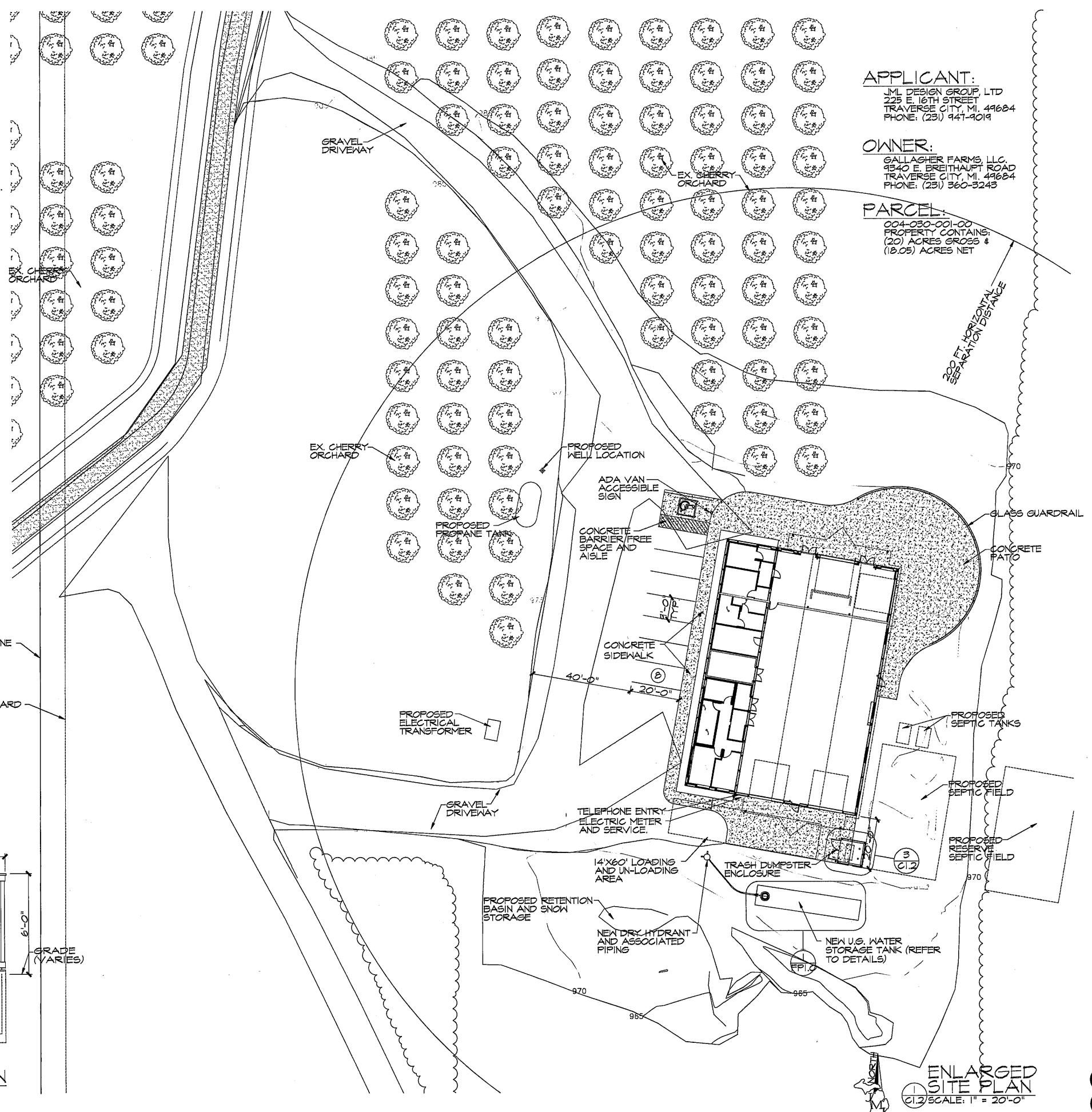
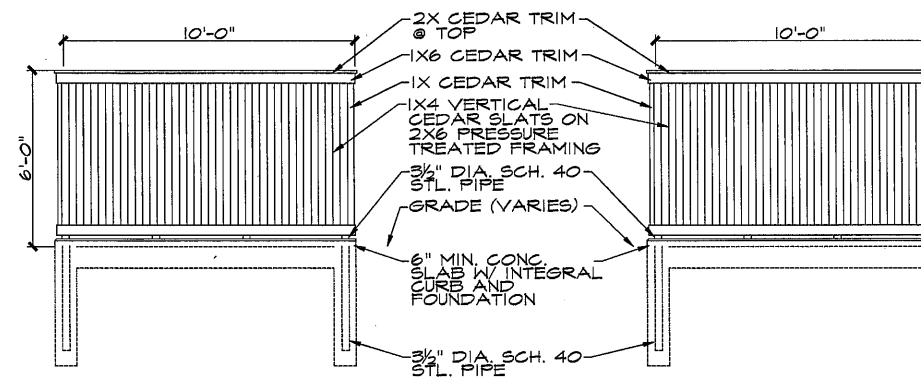
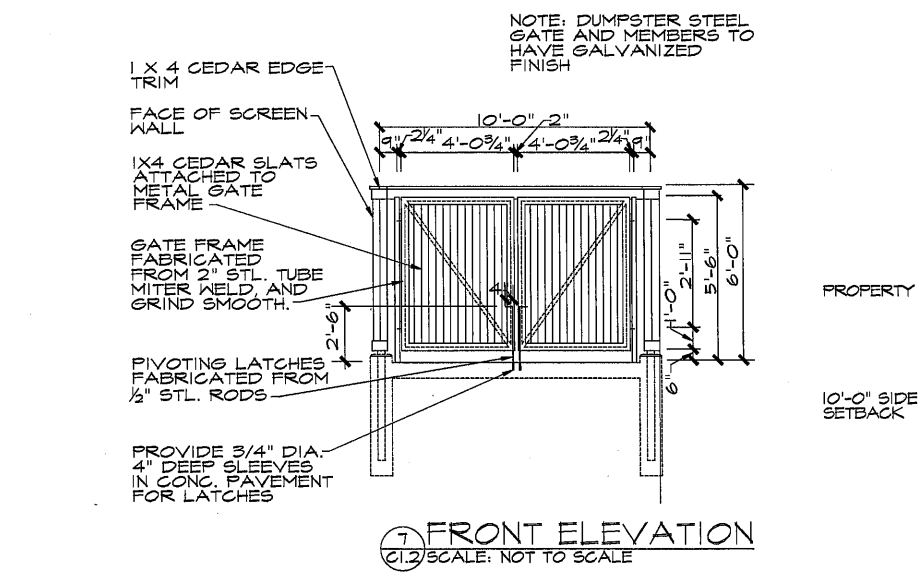
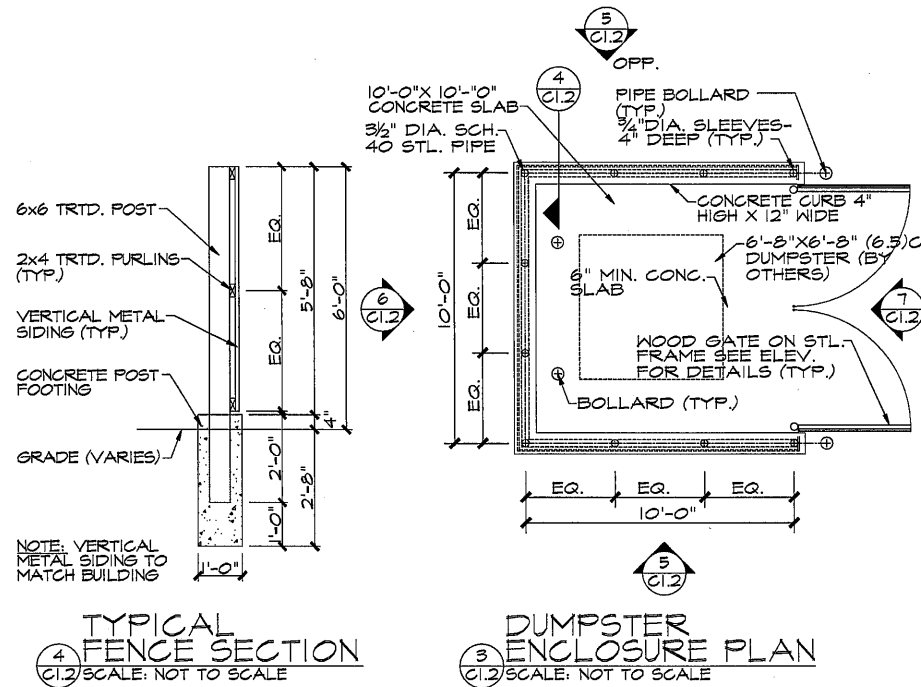
revisions: 06/16/23 ISSUED FOR PLANNING, 10/12/23 ISSUED FOR PERMITS/PRICING

architect: CF CAMPBELL  
 scale: AS NOTED  
 phone: (231) 947-9019  
 e-mail: jml@att.net

date: 06/16/23  
 sheet: C.1

preliminary construction





**APPLICANT:**  
 JML DESIGN GROUP LTD  
 225 E. 16TH STREET  
 TRAVERSE CITY, MI. 49684  
 PHONE: (231) 947-9019

**OWNER:**  
 GALLAGHER FARMS, LLC  
 9340 E. BREITHAUP ROAD  
 TRAVERSE CITY, MI. 49684  
 PHONE: (231) 360-3243

**PARCEL:**  
 004-030-001-00  
 PROPERTY CONTAINS:  
 (20) ACRES GROSS &  
 (18.05) ACRES NET

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

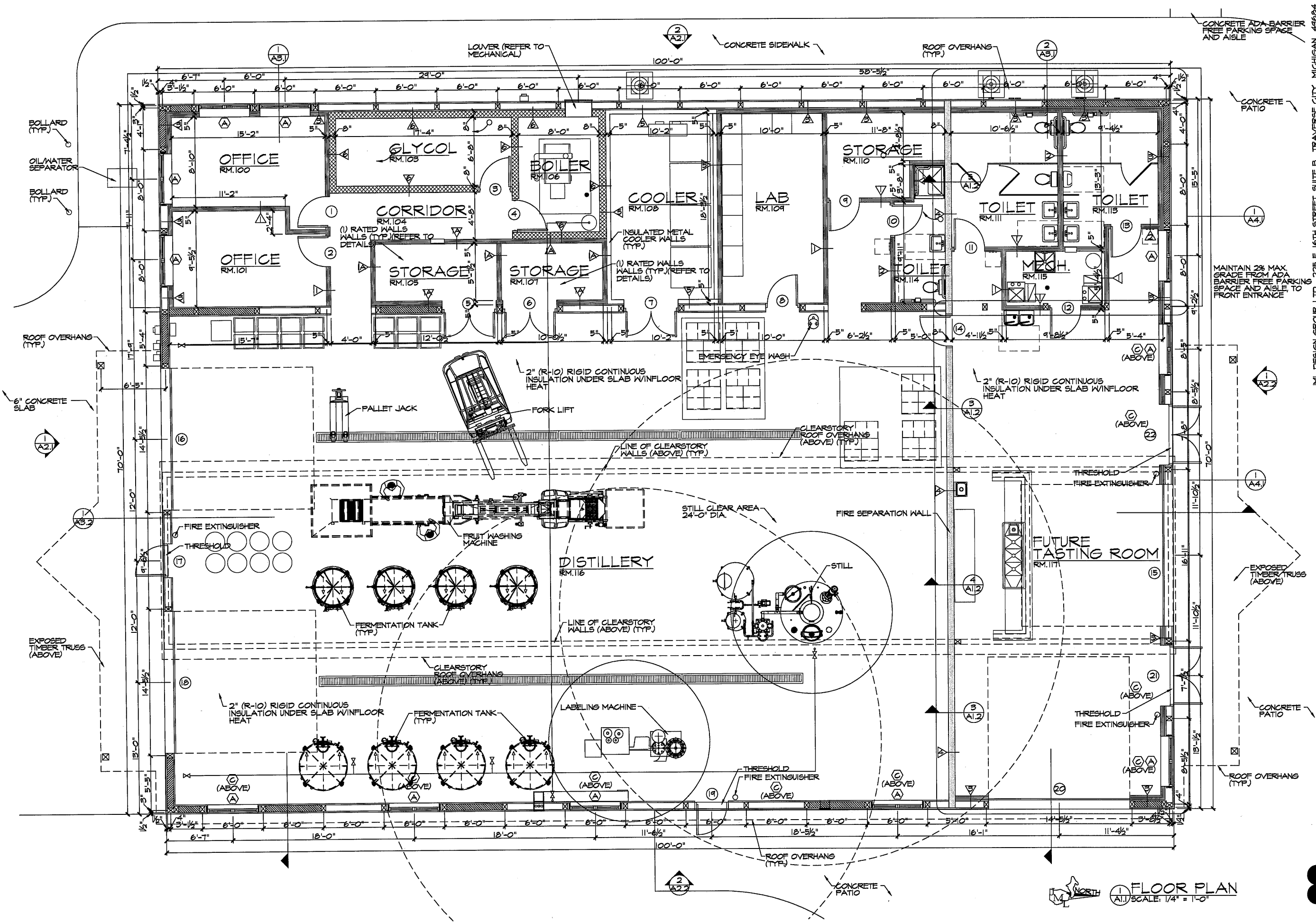
scale: AS NOTED  
 architect: CF CAMPBELL  
 phone: (231) 947-9019  
 e-mail: jmlc@att.net

revisions: 06/16/23 ISSUED FOR PLANNING  
 10/12/23 ISSUED FOR PERMITS/PRICING

owner information: JOHN A. GALLAGHER, III  
 2655 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686  
 49686

sheet title: ENLARGED SITE PLAN  
 project name: GALLAGHER DISTILLERY

date: 06/16/23  
 sheet: C1.2



JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

06/16/23 ISSUED FOR PERMITS/PRICING  
 10/12/23 ISSUED FOR PERMITS/PRICING

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

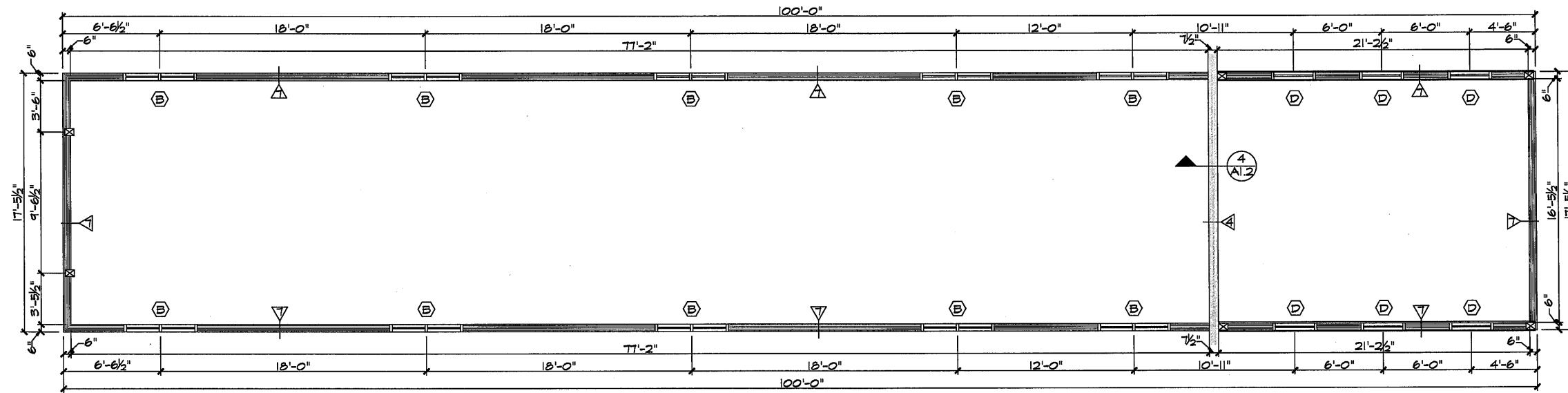
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 architect: JML DESIGN GROUP  
 scale: AS NOTED  
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 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 architect: JML DESIGN GROUP  
 scale: AS NOTED  
 project location: 2855 STRANG ROAD, JOHN A. SALLAGHER, III, 8855 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686  
 sheet title: FLOOR PLAN FOR PERMITS/PRICING  
 project name: GALLAGHER DISTILLERY  
 date: 06/16/23  
 sheet: A.1.1  
 scale: 1/4" = 1'-0"





UPPER ROOF PLAN  
 SCALE: 1/4" = 1'-0"

GA FILE NO. WP 3615

PROPRIETARY\*

CONSTRUCTION TYPE: GLASS MAT GYPSUM BOARD, WOOD STUDS

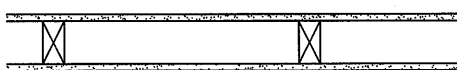
ONE LAYER 3/8" PROPRIETARY TYPE "X" GLASS MAT WATER-RESISTANT GYPSUM BACKING BOARD APPLIED PARALLEL OR AT RIGHT ANGLES TO 2X4 WOOD STUDS 16" O.C. WITH PHOSPHATE COATED NAILS, 1 1/8" LONG, 1/4" DIAMETER CUPPED HEADS, 8" O.C.

JOINTS STAGGERED 16" ON OPPOSITE SIDES AND COVERED WITH IOXIO MESH GLASS TAPE AND TILE ADHESIVE. (LOAD BEARING)

PROPRIETARY GYPSUM PANEL PRODUCT

G-P GYPSUM - 3/8" DENGSHIELD® FIREGUARD®

1 HOUR FIRE 30 TO 34 STC SOUND



THICKNESS: 4 3/4"  
 APPROX. WEIGHT: 7 PSF  
 FIRE TEST: WHI-445-0853, 5-14-87;  
 WHI-445-0854, 5-15-87  
 SOUND TEST: SEE WP 3605  
 (OR 64-8, 2-4-64)

1 HR. RATED  
 INTERIOR WALL  
 SCALE: NOT TO SCALE

GA FILE NO. WP 4135	GENERIC	2 HOUR FIRE	40 TO 44 STC SOUND
GYPSUM WALLBOARD, WOOD STUDS			
<p>FIRE DESIGN:            BASE LAYER 3/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 24" O.C. WITH 8d COATED NAILS, 1 1/8" LONG, 0.085" SHANK, 1/4" HEADS, 24" O.C. FACE LAYER 3/8" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO EACH SIDE WITH 8d COATED NAILS, 2 3/8" LONG, 0.100" SHANK, 1/4" HEADS, 8" O.C.</p> <p>JOINTS STAGGERED 24" EACH LAYER AND SIDE. SOUND TESTED WITH STUDS 16" O.C. AND WITH NAILS FOR BASE LAYER SPACED 6" O.C. (LOAD-BEARING).</p> <p>SOUND DESIGN:            SOUND TESTED AS CONSTRUCTED FOR FIRE.</p>			
		<p>THICKNESS: 6" (FIRE AND SOUND)            APPROX. WEIGHT: 12 PSF (FIRE AND SOUND)            FIRE TEST: FM WP 360, 4-27-74            SOUND TEST: NOAL IT-0824, 8-23-17</p>	

FIRE SEPARATION  
 WALL DETAIL  
 SCALE: NOT TO SCALE

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

AS NOTED  
 CFC/JEB/MD

ARCHITECT:  
 C.F. CAMPBELL  
 PHONE: (231) 947-4019  
 E-MAIL: jml@att.net

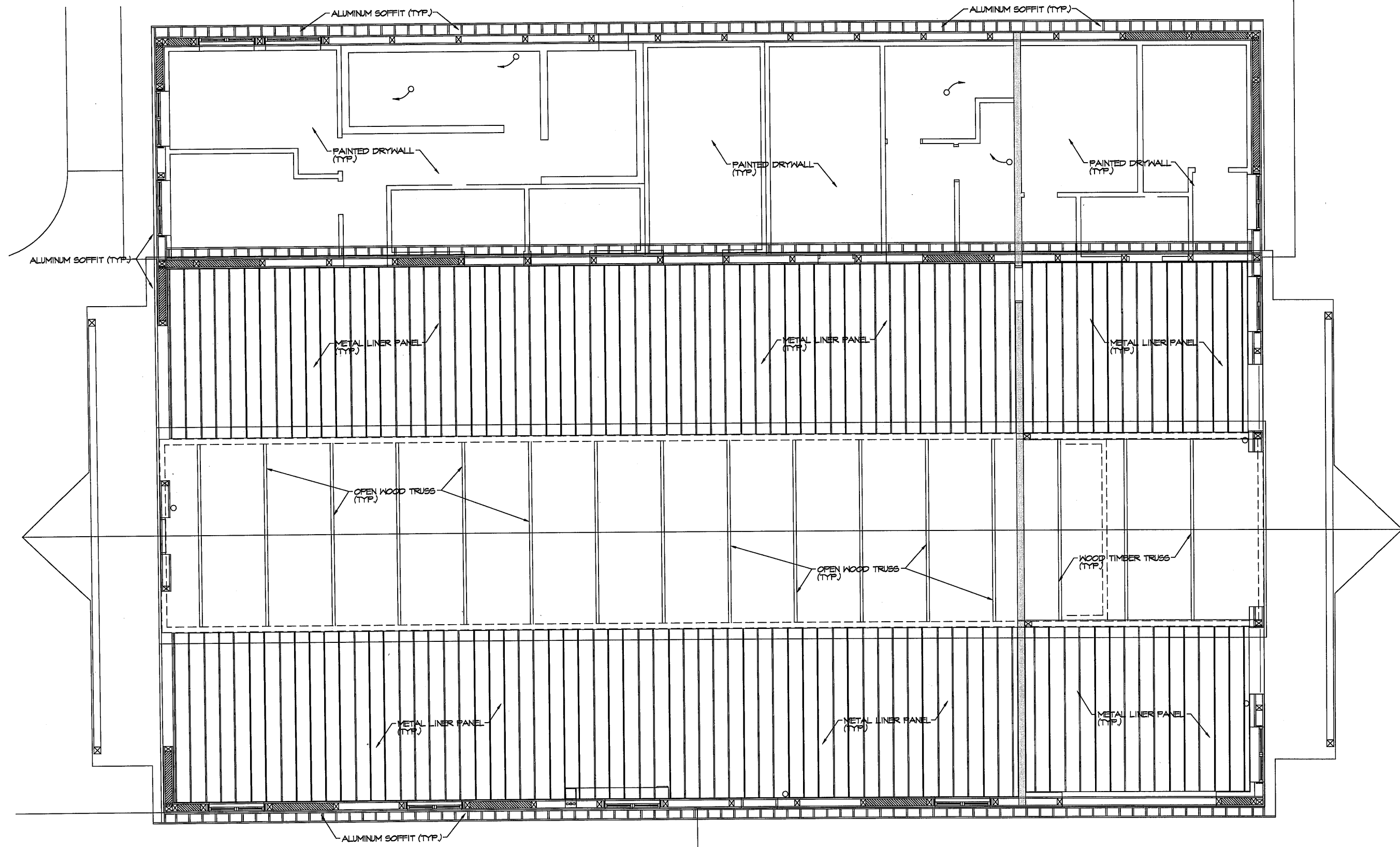
REVISED:  
 09/16/23 ISSUED FOR PERMITS  
 10/12/23 ISSUED FOR PERMITS/PRICING

OWNER INFORMATION:  
 JOHN A. GALLAGHER III  
 2655 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686  
 41626

PROJECT LOCATION:  
 UPPER ROOF PLAN  
 GALLAGHER DISTILLERY

PRELIMINARY  
 CONSTRUCTION

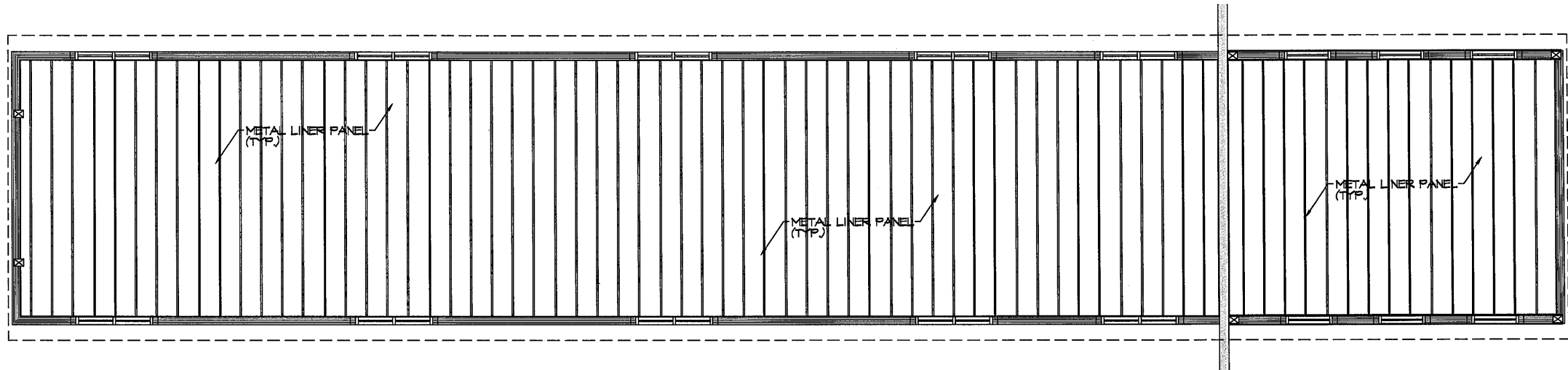
DATE:  
 06/16/23  
 SHEET:  
 A1.2



REFLECTED CEILING PLAN  
 A1.3 SCALE: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

	date: 06/16/23	sheet: A1.3
	preliminary construction	sheet title: <b>REFLECTED CEILING</b> project name: <b>GALLAGHER DISTILLERY</b>
project location: 2555 STRANGS ROAD TRAVERSE CITY, MICHIGAN 49686	owner information: JOHN A. GALLAGHER, III 8955 STRANGS ROAD TRAVERSE CITY, MICHIGAN 49686	revisions: 06/16/23 ISSUED FOR PLANNING 10/12/23 ISSUED FOR PERMITS/PRICING
architect: CF CAMPBELL	scale: AS NOTED	drafter: CFC/JEB/MD
phone: (231) 947-4014 e-mail: jml@gdt.net		



UPPER ROOF  
REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

sheet:  
AS NOTED  
drawn:  
CFC/JEB/MD

architect:  
CF CAMPBELL  
phone: (231) 947-4019  
e-mail: jml@jdgatt.net

revision:  
06/16/23 ISSUED FOR PERMITS/PRICING  
01/12/25 ISSUED FOR PERMITS/PRICING

owner information:  
owner: L. LAGHER, III  
JOHN A. SALES, CEO  
2855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN 49686  
49686

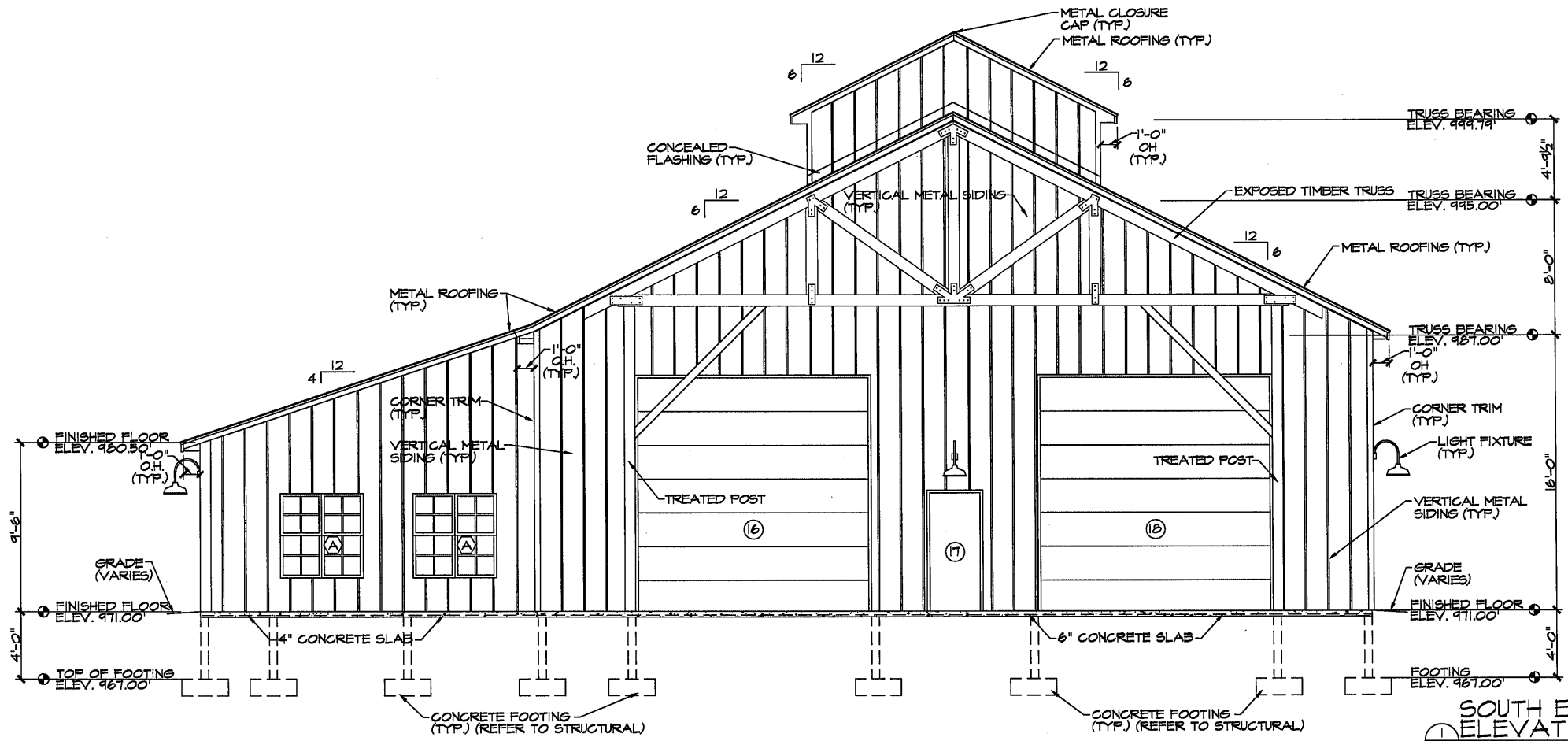
sheet title:  
REFLECTED CEILING  
project name:  
GALLAGHER DISTILLERY

○ preliminary  
● construction

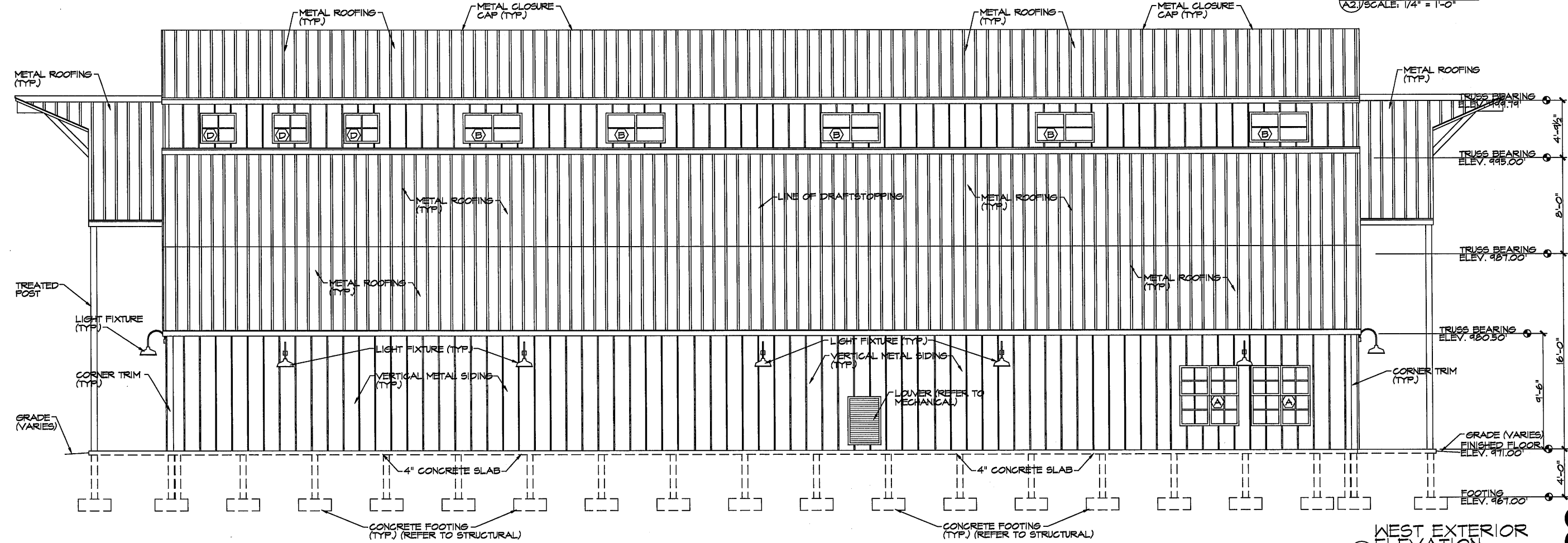
date:  
06/16/23  
sheet:  
A.4







**1 SOUTH EXTERIOR ELEVATION**  
 (A2) SCALE: 1/4" = 1'-0"



**2 WEST EXTERIOR ELEVATION**  
 (A2) SCALE: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

AS NOTED  
 CFC/JEB/MD

architect:  
 C.F. CAMPBELL  
 phone: (231) 947-9019  
 e-mail: jml@att.net

revision:  
 06/16/23 ISSUED FOR PERMITS/PRICING  
 10/12/23 ISSUED FOR PERMITS/PRICING

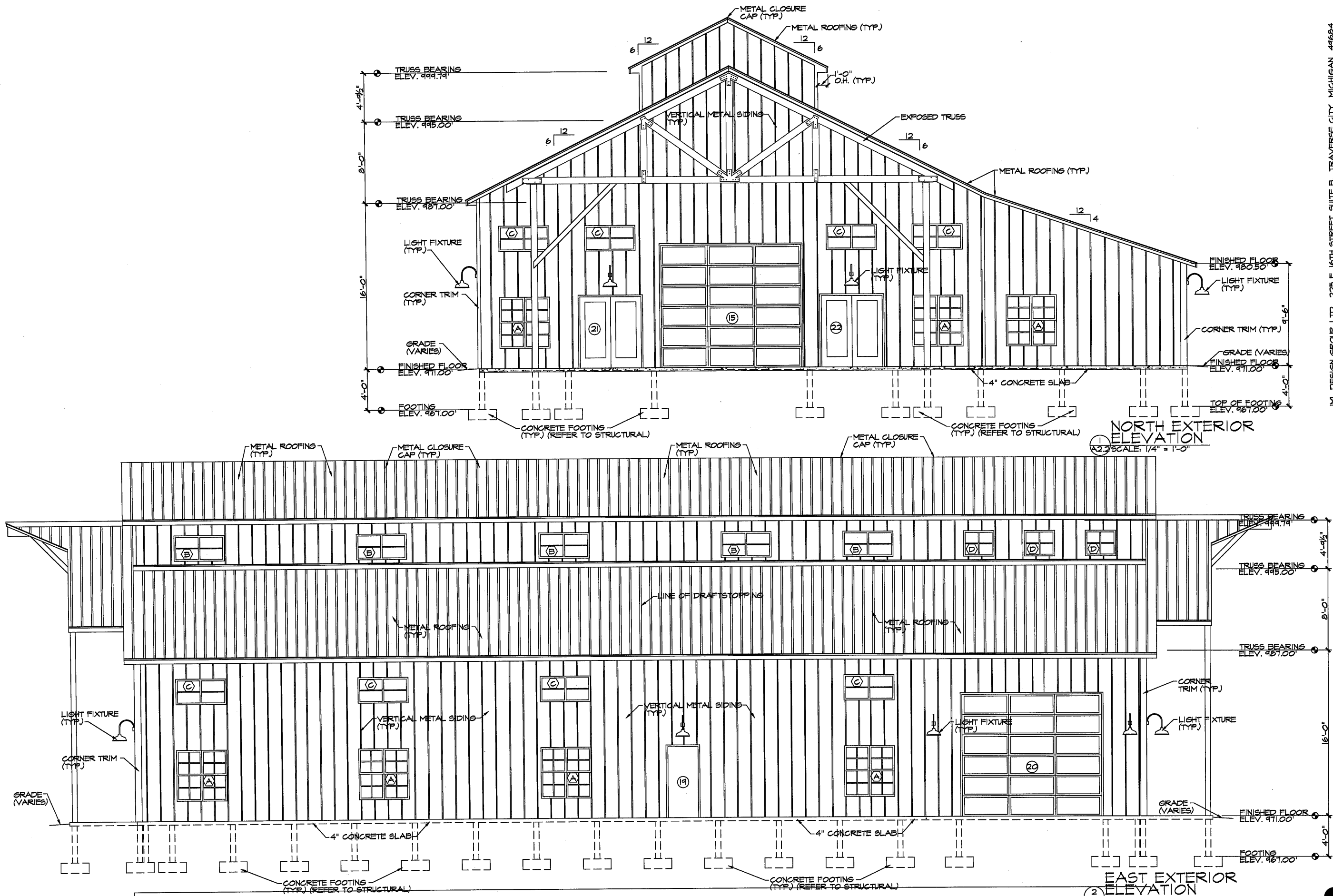
owner information:  
 JOHN A. GALLAGHER, III  
 2555 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686

project location:  
 2555 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686

sheet title:  
**EXTERIOR ELEVATIONS**  
 project name:  
**GALLAGHER DISTILLERY**

0 preliminary  
 1 construction

date:  
 06/16/23  
 sheet:  
 A2.1



**1 NORTH EXTERIOR ELEVATION**  
 A2.2 SCALE: 1/4" = 1'-0"

**2 EAST EXTERIOR ELEVATION**  
 A2.2 SCALE: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

scale:  
 AS NOTED  
 drawn:  
 CFC/LEBMD

architect:  
 CF CAMPBELL  
 phone: (231) 447-4014  
 e-mail: jmljdg@att.net

revision:  
 06/16/23 ISSUED FOR PERMITS/PRICING  
 10/12/23 ISSUED FOR PERMITS/PRICING

owner information:  
 JOHN A. GALLAGHER, III  
 8255 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN  
 49686

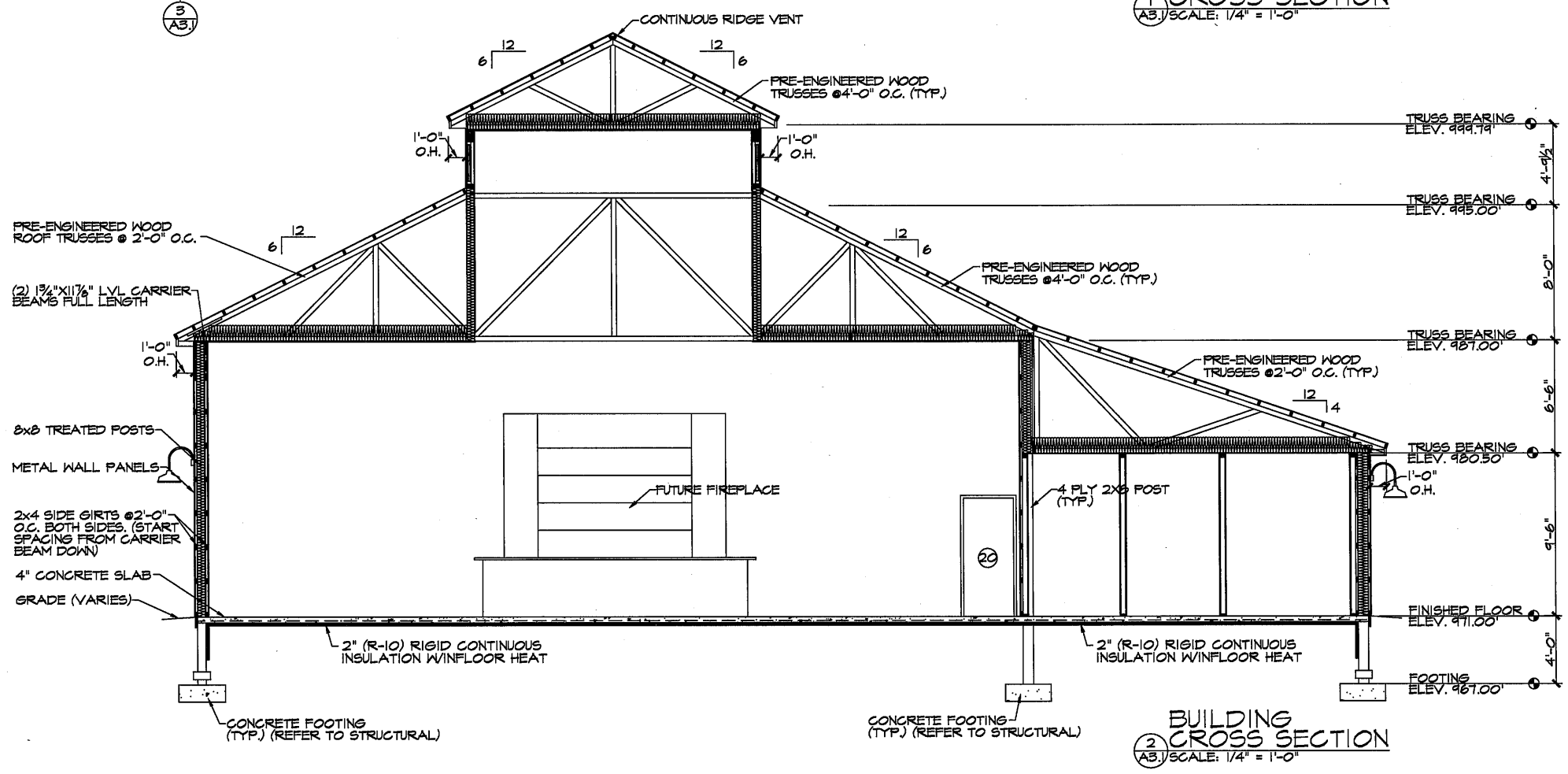
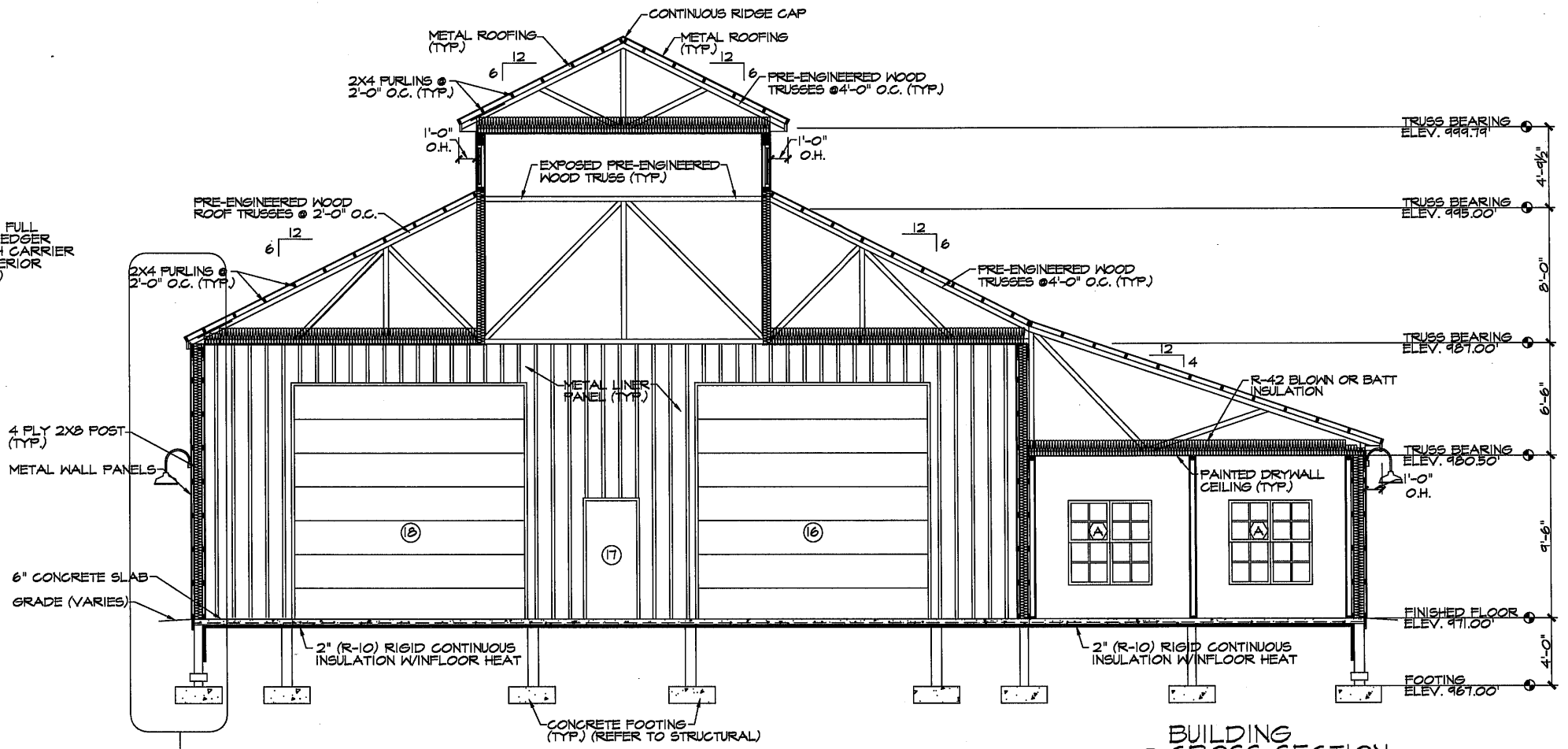
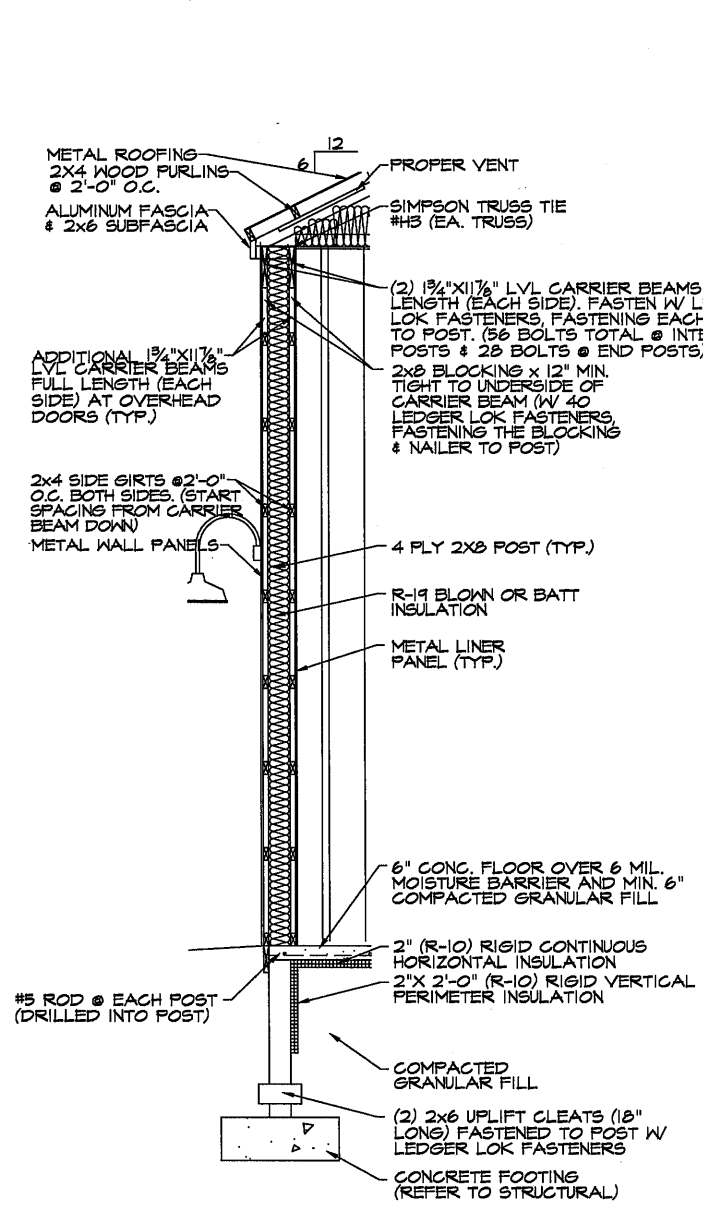
project location:  
 8255 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN  
 49686

sheet title:  
**EXTERIOR ELEVATIONS**  
 project name:  
**GALLAGHER DISTILLERY**

0 preliminary  
 1 construction

date:  
 06/16/23  
 sheet:  
 A2.2





J.M.L. DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

ASK: AS NOTED  
DRAWN: CFC/JEB/MD

ARCHITECT: C.F. CAMPBELL  
PHONE: (231) 947-4019  
E-MAIL: jml@att.net

ISSUED FOR PERMITS/PRICING  
10/12/23

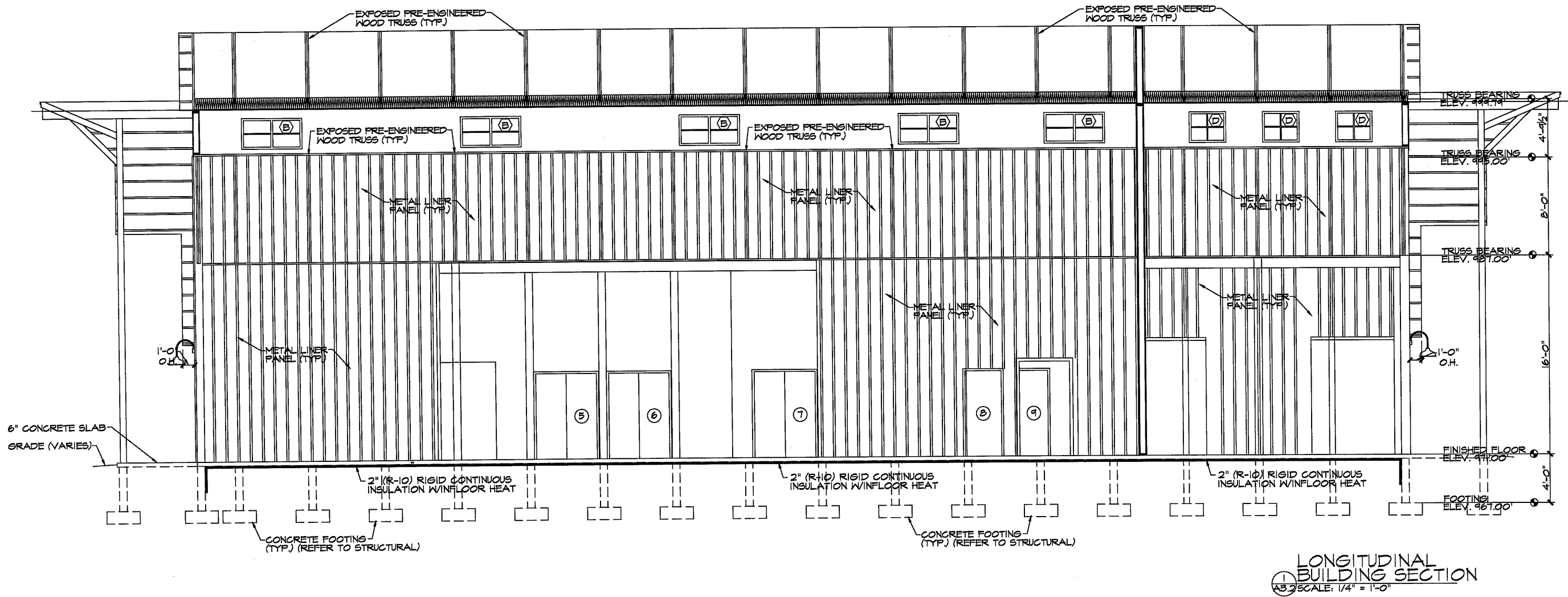
OWNER INFORMATION:  
JOHN & SARA LAGHER, III  
2855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN 49686

PROJECT LOCATION:  
2855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN 49686

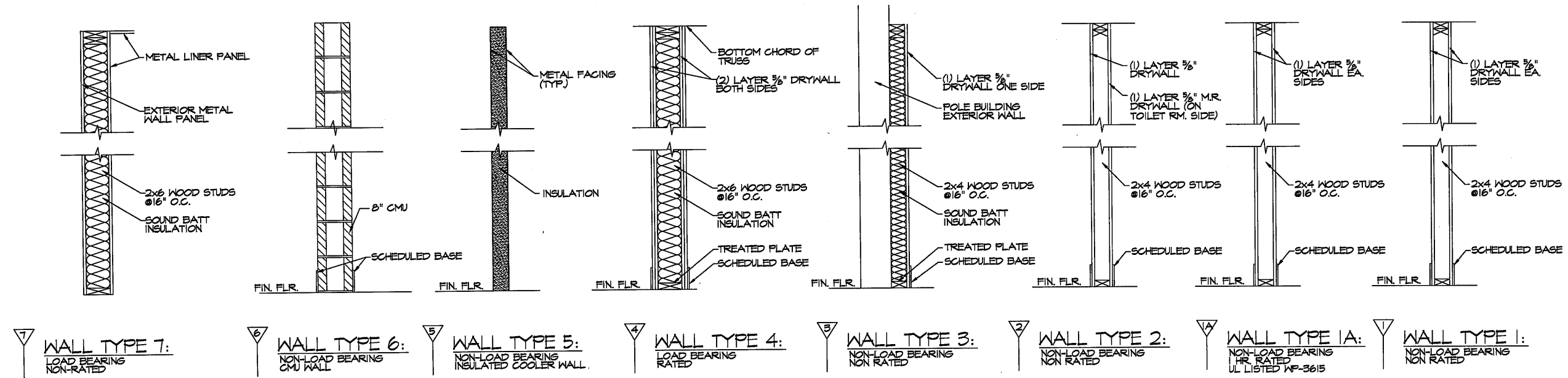
SHEET TITLE: BUILDING SECTIONS  
PROJECT NAME: GALLAGHER DISTILLERY

PRELIMINARY  
CONSTRUCTION

DATE: 06/16/23  
SHEET: A3.1



LONGITUDINAL BUILDING SECTION  
 AS.2 SCALE: 1/4" = 1'-0"



TYP. WALL TYPES

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

architect: CF CAMPBELL  
 phone: (231) 447-4014  
 e-mail: jml@jml.net

owner information:  
 JOHN A. GALLAGHER, III  
 2855 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686

project location:  
 2855 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686

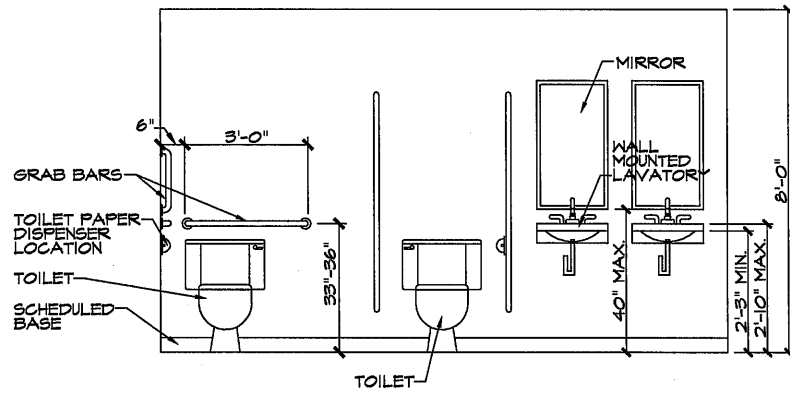
date: 06/16/23  
 sheet: A3.2

sheet title: BUILDING SECTIONS  
 project name: GALLAGHER DISTILLERY

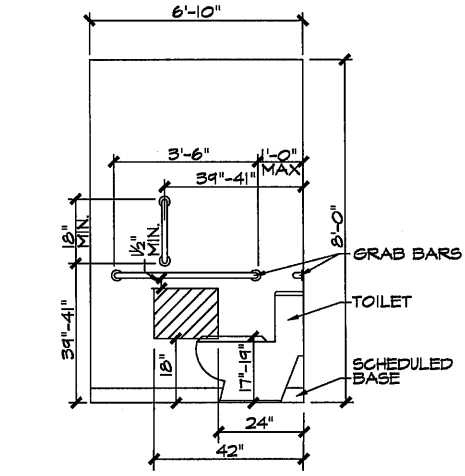
AS NOTED  
 draw: CFC/JEB/MD

0 preliminary  
 construction

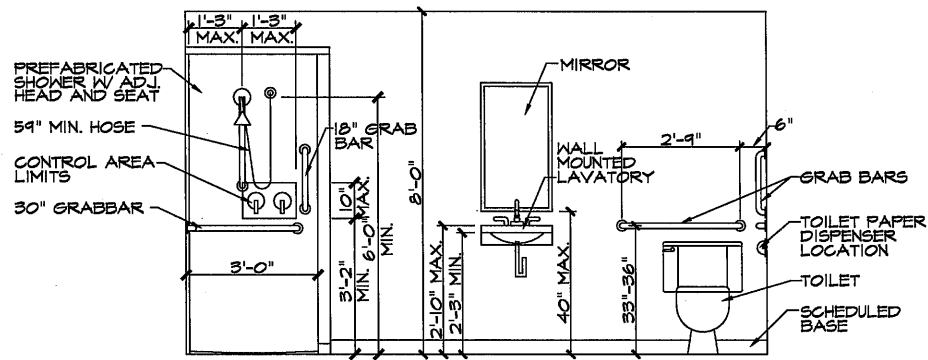




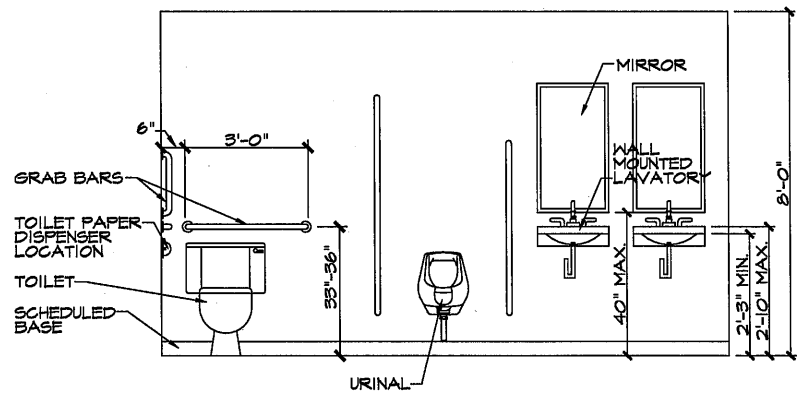
ENLARGED TOILET ELEVATION  
SCALE: 1/2" = 1'-0"



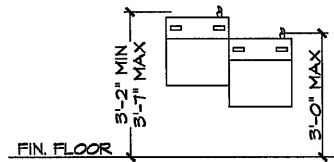
ENLARGED TOILET ELEVATION  
SCALE: 1/2" = 1'-0"



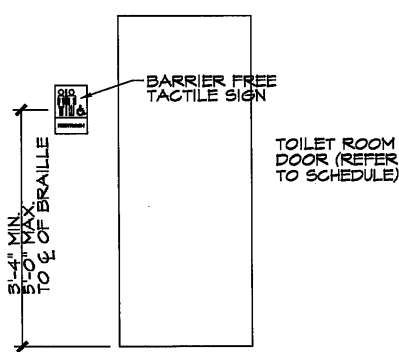
ENLARGED TOILET ELEVATION  
SCALE: 1/2" = 1'-0"



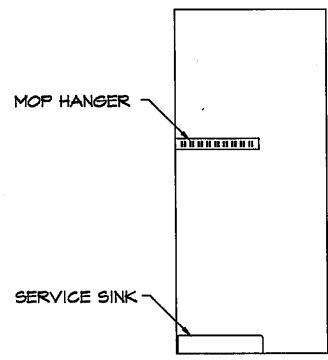
ENLARGED TOILET ELEVATION  
SCALE: 1/2" = 1'-0"



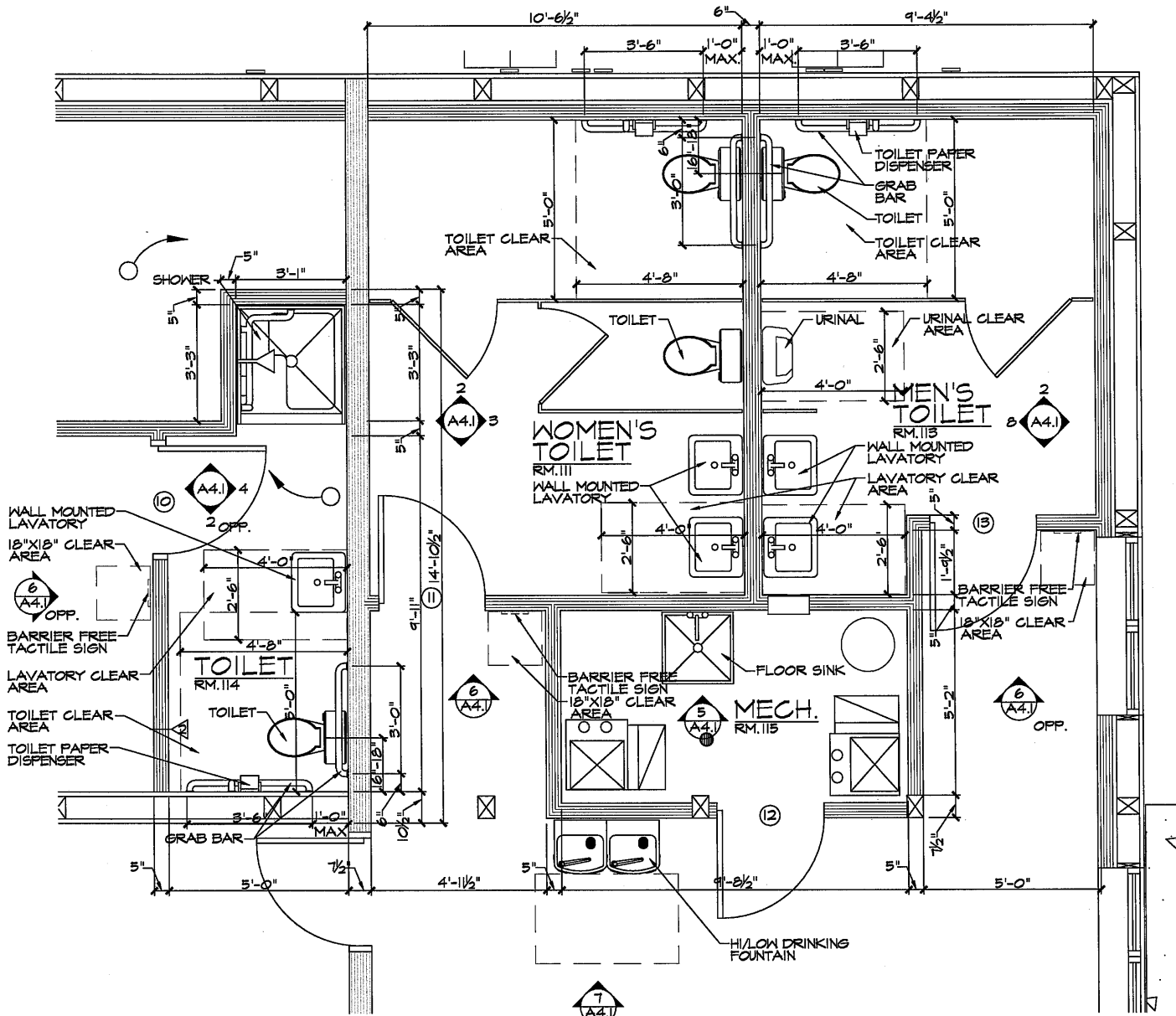
DRINKING FOUNTAIN ELEVATION  
SCALE: 1/2" = 1'-0"



BARRIER FREE SIGNAGE DETAIL  
SCALE: NOT TO SCALE



JANITORS CLOSET ELEVATION  
SCALE: 1/2" = 1'-0"



ENLARGED TOILET PLAN  
SCALE: 1/2" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

architect: AS NOTED  
drawn: CFC/JEB/MD

architect: CFC CAMPBELL  
phone: (231) 947-9019  
e-mail: jml@att.net

revision: 06/16/23 ISSUED FOR PERMITS/PRICING  
10/12/23 ISSUED FOR PERMITS/PRICING

owner information: JOHN A. GALLAGHER, III  
2855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN 49686  
41686

project location: JOHN A. GALLAGHER, III  
2855 STRANG ROAD  
TRAVERSE CITY, MICHIGAN 49686  
41686

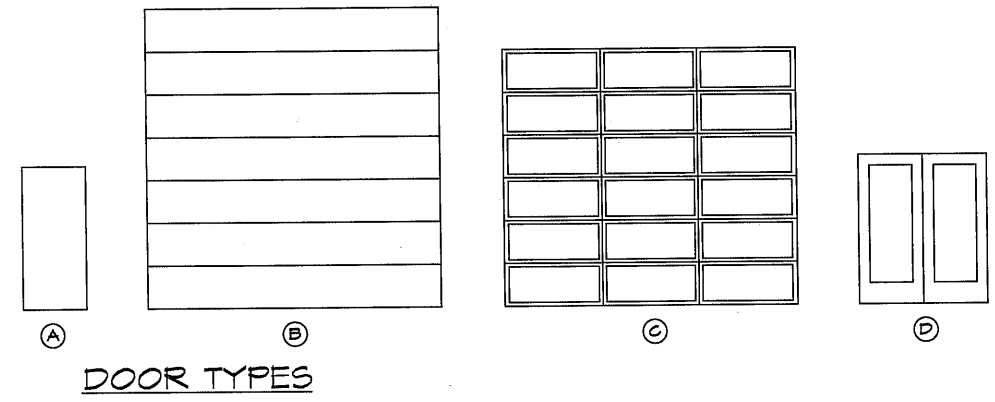
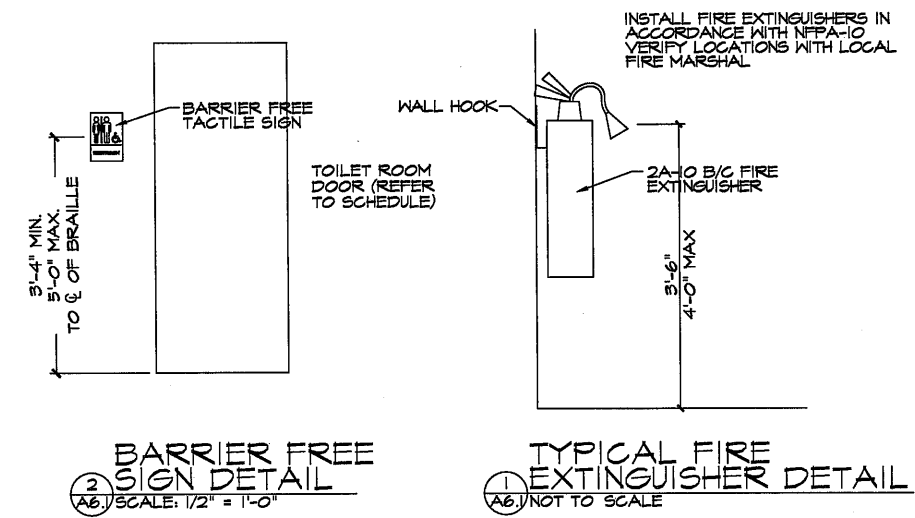
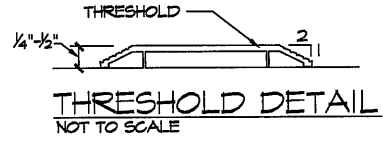
sheet title: TOILET DETAILS  
project name: GALLAGHER DISTILLERY

0 preliminary  
1 construction

date: 06/16/23  
sheet: A4.1



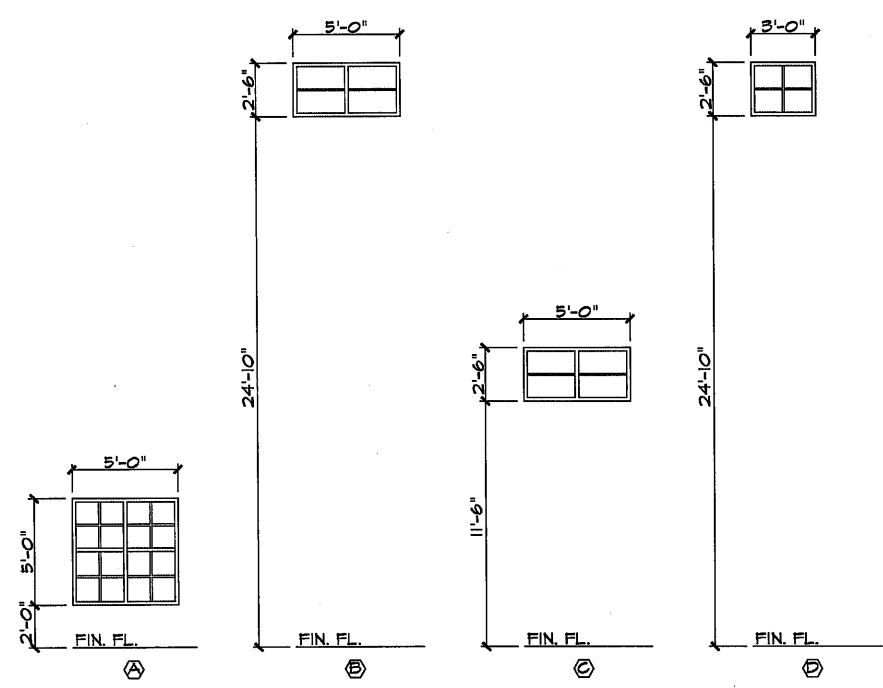
DOOR SCHEDULE											
NO.	DOOR LOCATION	SIZE	DOOR			FRAME			LABEL	HDWR	NOTES
			TYPE	MATERIAL	MATERIAL	HEAD	JAMB	SILL			
1	OFFICE (RM. 100)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM						
2	OFFICE (RM. 101)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM						
3	GLYCOL (RM. 103)	3'-0"X7'-0"X1 3/4"	A	HM	WELDED HM						
4	BOILER (RM. 106)	3'-0"X7'-0"X1 3/4"	A	HM	WELDED HM						
5	STORAGE (RM. 108)	(2) 2'-6"X7'-0"X1 3/4"	A	HM	KD HM				60 MIN.	6	
6	STORAGE (RM. 107)	(2) 2'-6"X7'-0"X1 3/4"	A	HM	KD HM				60 MIN.	6	
7	COOLER (RM. 108)	(2) 2'-6"X7'-0"X1 3/4"	A	--	INS. MET.					BY MFG	
8	LAB (RM. 104)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM						
9	STORAGE (RM. 110)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM						
10	TOILET (RM. 114)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM					2	
11	TOILET (RM. 111)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM					2	
12	MECHANICAL (RM. 115)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM					1	
13	TOILET (RM. 113)	3'-0"X7'-0"X1 3/4"	A	WD	KD HM					2	
14		3'-0"X7'-0"X1 3/4"	A	WD	KD HM					1	
15	TASTING ROOM (RM. 117)	14'-0"X 12'-0"	C	INS. MET.	--					4	
16	DISTILLERY (RM. 116)	14'-0"X 14'-0"	B	INS. MET.	--					4	
17	DISTILLERY (RM. 116)	3'-0"X7'-0"X1 3/4"	A	HM	HM					3	
18	DISTILLERY (RM. 116)	14'-0"X 14'-0"	B	INS. MET.	--					4	
19	DISTILLERY (RM. 116)	3'-0"X7'-0"X1 3/4"	A	HM	HM					3	
20	TASTING ROOM (RM. 117)	14'-0"X 12'-0"	C	INS. MET.	--				90 MIN.	4	
21	TASTING ROOM (RM. 117)	(2) 3'-0"X7'-0"X1 3/4"	D	AL	AL					5	
22	TASTING ROOM (RM. 117)	(2) 3'-0"X7'-0"X1 3/4"	D	AL	AL					5	



**HARDWARE SCHEDULE:**

- SET 1:
  - (1) PAIR HINGES
  - (1) LEVER LOCK SET
  - (1) DOOR BUMP
- SET 2:
  - (1) PAIR HINGES
  - (1) LEVER TOILET PRIVACY
  - (1) THRESHOLD
  - (1) ADA TOILET SIGNAGE
  - (1) DOOR BUMP
- SET 3:
  - (1) PAIR HINGES
  - (1) LEVER PASSAGE SET
  - (1) CYLINDER LOCK
  - THRESHOLD
  - WEATHERSTRIPPING
  - CLOSER
- SET 4:
  - O.V.H. DOOR HARDWARE
  - SLIDE LOCK
- SET 5:
  - (1) PAIR HINGES (PER DOOR)
  - (1) TOP & BOTTOM SLIDE BOLTS
  - (1) INACTIVE DOOR
  - (1) CLOSER
  - (1) CYLINDER LOCK W/THUMBTURN
  - (1) PUSH BAR/FULL PLATE
  - THRESHOLD
  - WEATHER STRIPPING
- SET 6:
  - (1) PAIR HINGES (PER DOOR)
  - (1) TOP & BOTTOM SLIDE BOLTS (INACTIVE DOOR)
  - (1) CLOSER (ACTIVE DOOR)
  - (1) PASSAGE SET

WINDOW SCHEDULE				
TAG	LOCATION	SIZE	FRAME	NOTES
A	REFER TO PLANS	5'-0"X5'-0"	INS. MET.	DOUBLE HUNG
B	REFER TO PLANS	5'-0"X2'-6"	INS. MET.	FIXED CASEMENT
C	REFER TO PLANS	5'-0"X2'-6"	INS. MET.	FIXED CASEMENT
D	REFER TO PLANS	3'-0"X2'-6"	INS. MET.	FIXED CASEMENT



WINDOW TYPES:

FINISH SCHEDULE										
RM. #	ROOM NAME	CEILING	CLG. HT.	WALLS				FLOORS	BASE	REMARKS
				NORTH	SOUTH	EAST	WEST			
100	OFFICE	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
101	OFFICE	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
102	NOT USED									
103	GLYCOL	PTD-3	9'-6"	CMU-1	CMU-1	CMU-1	CMU-1	CONC-1		
104	CORRIDOR	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
105	STORAGE	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
106	BOILER	PTD-3	9'-6"	CMU-1	CMU-1	CMU-1	CMU-1	CONC-1		
107	STORAGE	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
108	COOLER	INS. MET.	9'-6"	INS. MET.	INS. MET.	INS. MET.	INS. MET.	CONC-1		
104	LAB	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
110	STORAGE	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
111	TOILET	PTD-3	9'-6"	PTD-2	PTD-2	PTD-2	PTD-2	CONC-1		
112	JANITORS CLOSET	PTD-3	9'-6"	PTD-2	PTD-2	PTD-2	PTD-2	CONC-1		
113	TOILET	PTD-3	9'-6"	PTD-2	PTD-2	PTD-2	PTD-2	CONC-1		
114	NOT USED									
115	MECHANICAL	PTD-3	9'-6"	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		
116	DISTILLERY	MTL. LINER	VARIABLE	MTL. LINER	MTL. LINER	MTL. LINER	MTL. LINER	CONC-1		
117	TASTING ROOM	MTL. LINER	VARIABLE	PTD-1	PTD-1	PTD-1	PTD-1	CONC-1		

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

architect:  
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e-mail: jml@cfat.net

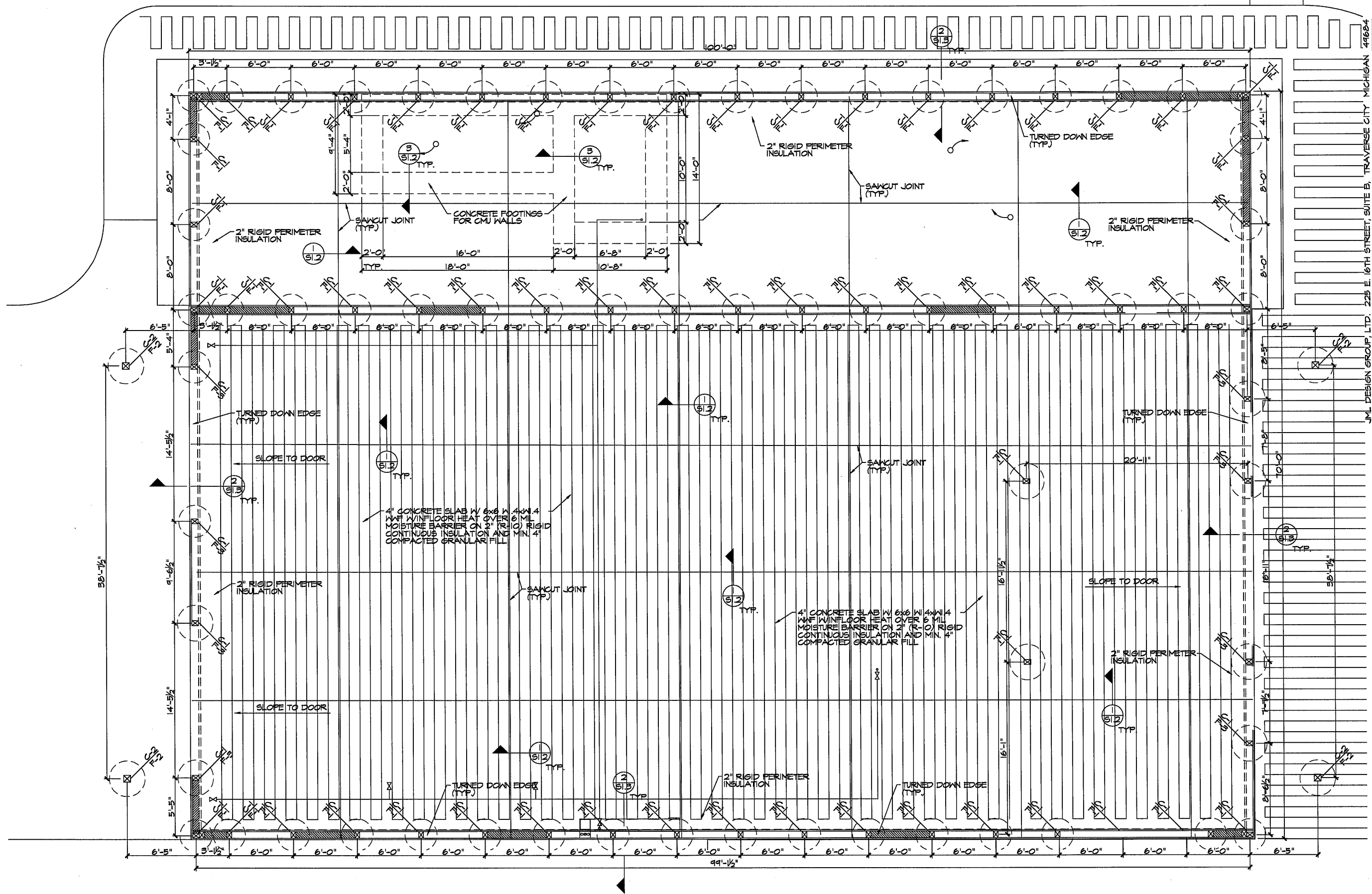
revision:  
06/16/23 ISSUED FOR PLANNING  
10/12/23 ISSUED FOR PERMITS/PRICING

owner information:  
JOHN A. GALLAGHER, III  
5855 STRAUS ROAD  
TRAVERSE CITY, MICHIGAN 49686  
41666

sheet title:  
**SCHEDULES**  
project name:  
**GALLAGHER DISTILLERY**

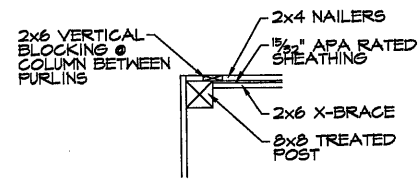
0 preliminary  
1 construction

date:  
06/16/23  
sheet:  
A6.1

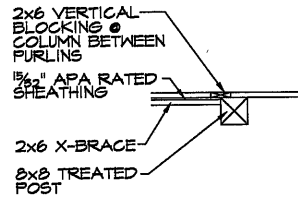


FOUNDATION PLAN  
 S.I. SCALE: 1/4" = 1'-0"

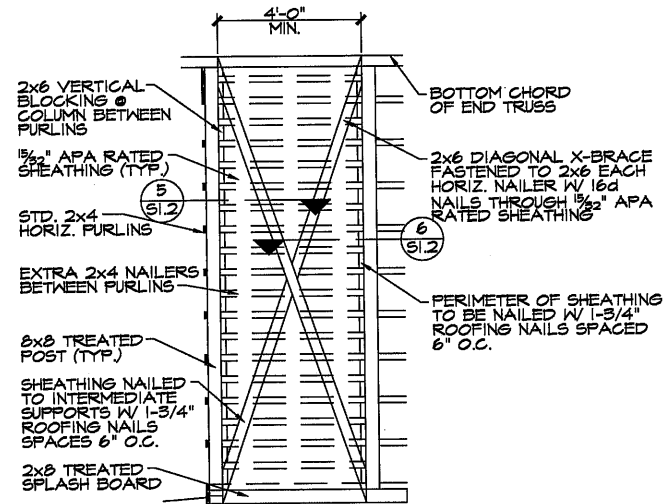
sheet title: **FOUNDATION PLAN**  
 project name: **CALLAGHER DISTILLERY**  
 sheet: **S.I.**  
 date: **06/16/23**  
 sheet: **01.1**  
 project location: **2555 STRANG ROAD, TRAVERSE CITY, MICHIGAN 49686**  
 project information: **09/19/23 ISSUED FOR PLANNING PERMITS, 10/12/23 ISSUED FOR PERMITS/PRICING**  
 architect: **CF CAMPBELL**  
 phone: (231) 947-4019  
 e-mail: [jmidgett@att.net](mailto:jmidgett@att.net)  
 JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684  
 notes: **AS NOTED**  
 drawn: **CFC/JEB/MD**



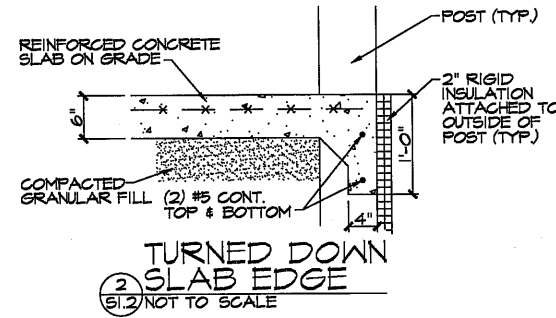
**SHEAR WALL CORNER DETAIL**  
 5  
 (S1.2) SCALE: 1/2"=1'-0"



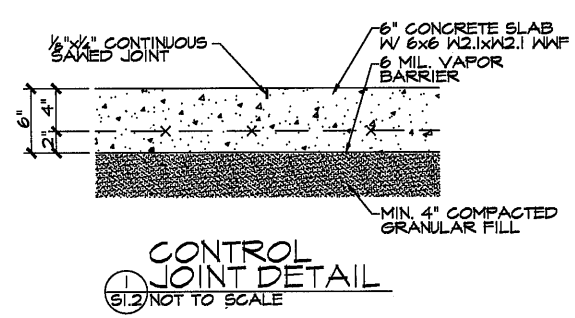
**SHEAR WALL DETAIL**  
 6  
 (S1.2) SCALE: 1/2"=1'-0"



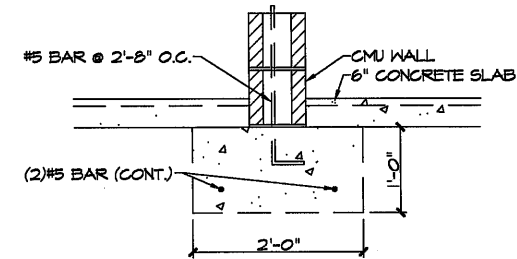
**SHEAR WALL ELEVATION**  
 4  
 (S1.2) SCALE: 1/2"=1'-0"



**TURNED DOWN SLAB EDGE**  
 2  
 (S1.2) NOT TO SCALE



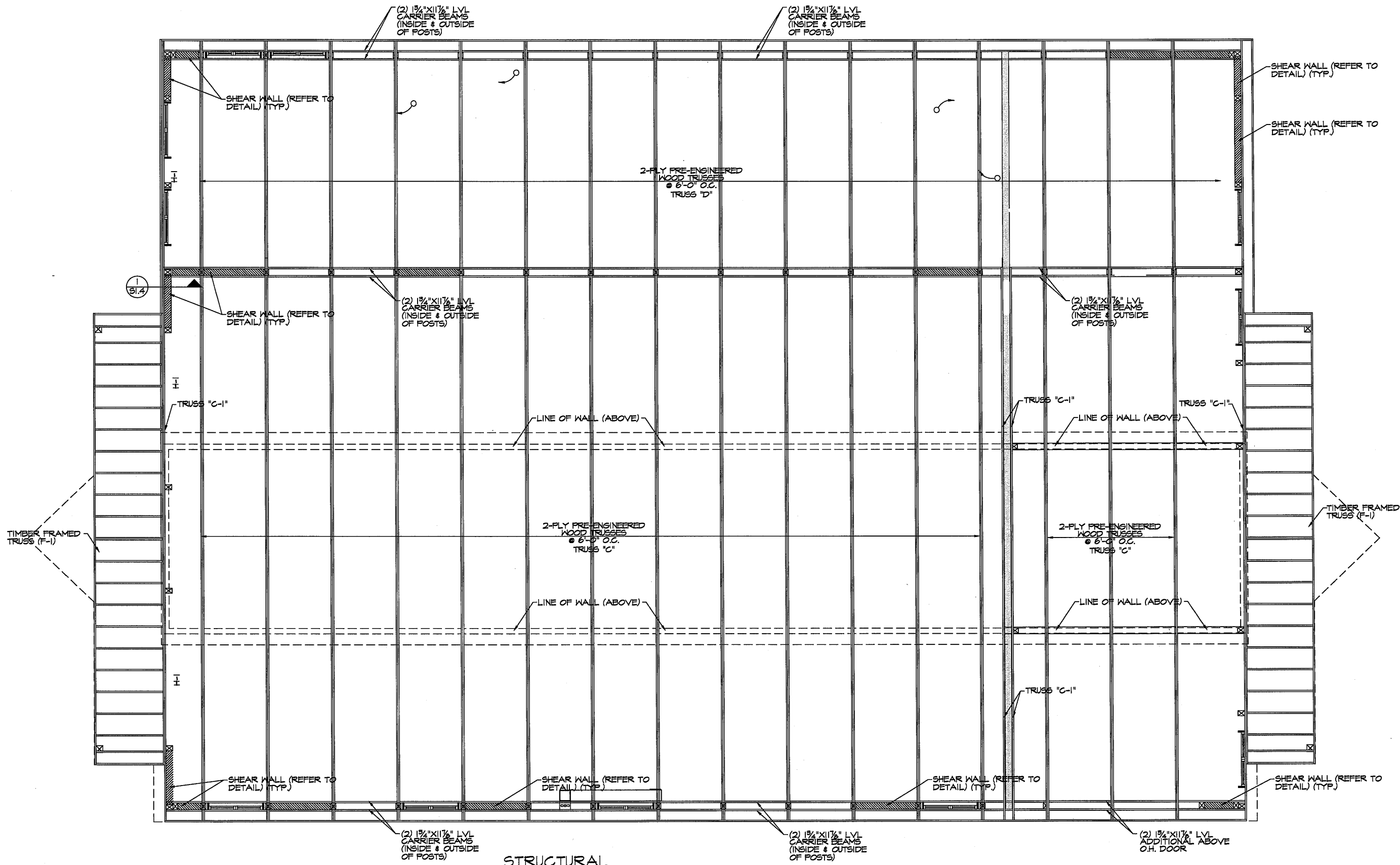
**CONTROL JOINT DETAIL**  
 1  
 (S1.2) NOT TO SCALE



**TYP. FOOTING DETAIL**  
 3  
 (S1.2) SCALE: 1"=1'-0"

COLUMN AND FOOTING SCHEDULE			
SYM.	SIZE	REINFORCING EACH WAY	NOTES
C-1	(4) FLY 2X8 GLULAM COLUMN		
C-2	6"X8" TRTD. WOOD		
F-1	3'-6" DIA. X 1'-0"		
F-2	3'-0" DIA. X 1'-0"		
F-3	4'-0" DIA. X 1'-0"		

Sheet Title: **FOUNDATION DETAILS**  
 Project Name: **GALLAGHER DISTILLERY**  
 Project Location: **8855 STRANG ROAD, TRAVELERS REST, TRAVERS CITY, MICHIGAN 49686**  
 Owner Information: **JOHN A. GALLAGHER, III, 8855 STRANG ROAD, TRAVERS CITY, MICHIGAN 49686**  
 Architect: **CF CAMPBELL**  
 Date: **06/16/23**  
 Issued For: **PERMITS/PRICING**  
 Issued: **10/12/23**  
 Scale: **AS NOTED**  
 Drawn: **CFC/JEB/MD**  
 E-mail: **jml@gcdt.net**  
 Phone: **(231) 447-4014**



**STRUCTURAL DESIGN DATA:**

ROOF (SNOW) LIVE LOAD: 46.2 PSF  
 GROUND SNOW LOAD: 60 PSF  
 ROOF DEAD LOAD: 17 PSF  
 TOP CHORD: 7 PSF  
 BOTTOM CHORD: 10 PSF

WIND LOADS:  
 BASIC WIND SPEED 115 MPH, I = 1.0  
 EXPOSURE: C  
 TYPICAL WIND DESIGN PRESSURE: 22 PSF  
 COMPONENTS AND CLADDING PRESSURE: 36 PSF  
 SOIL BEARING CAPACITY BASED ON 2,000 PSF



**ROOF FRAMING PLAN**  
 51.3 / SCALE: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

scale:  
 AS NOTED  
 drawn:  
 CFC/JEB/MD

architect:  
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issues:  
 10/16/23 ISSUED FOR PLANNING  
 10/12/23 ISSUED FOR PERMITS/PRICING

owner information:  
 LAGHER III  
 1005 S. STANS ROAD  
 TRAVERSE CITY, MICHIGAN  
 49686

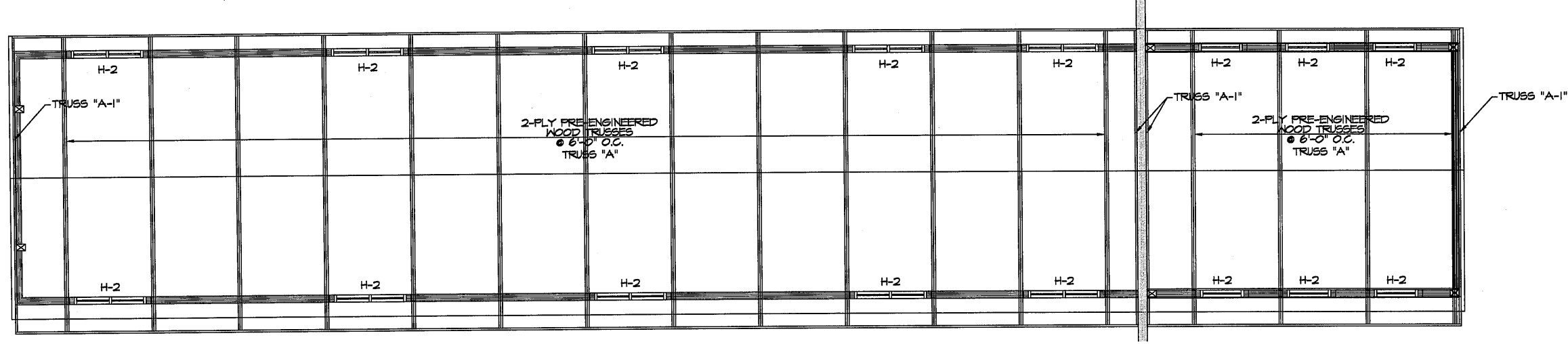
project location:  
 STANS ROAD  
 TRAVERSE CITY, MICHIGAN  
 49686

sheet title:  
**ROOF FRAMING PLAN**  
 project name:  
**CALLAGHER DISTILLERY**

0 preliminary  
 0 construction

date:  
 06/16/23  
 sheet:  
 51.3





UPPER ROOF FRAMING PLAN  
 S1.4 SCALE: 1/4" = 1'-0"

JML DESIGN GROUP, LTD. 229 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

date:  
06/16/23  
sheet:  
S1.4

0 preliminary  
● construction

Sheet Title:  
**UPPER ROOF FRAMING**  
Project Name:  
**GALLAGHER DISTILLERY**

Project Location:  
2255 STRANG ROAD  
TRAVERSE CITY, MICHIGAN  
49686

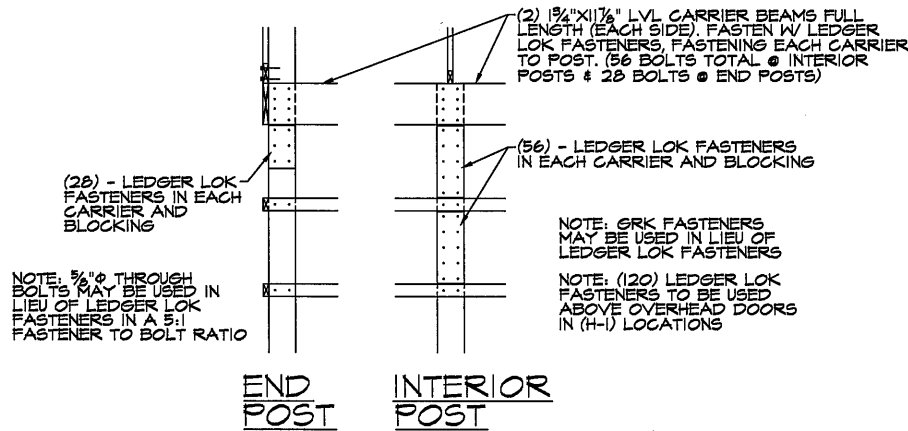
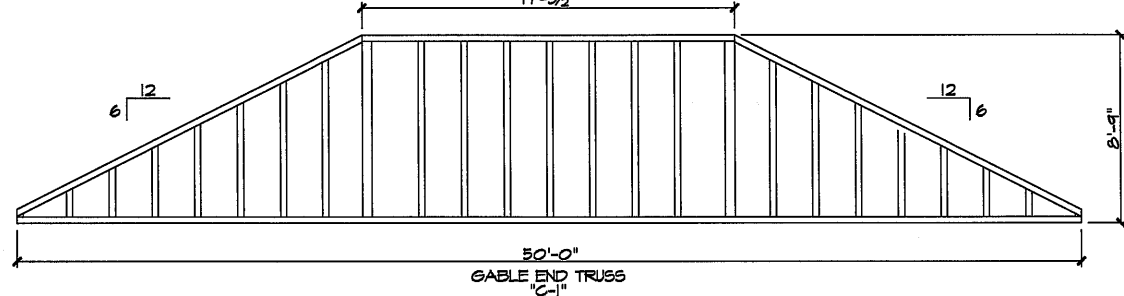
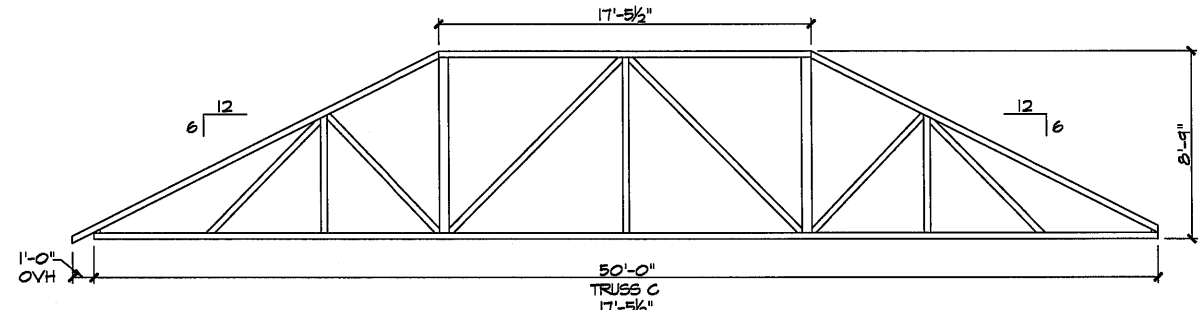
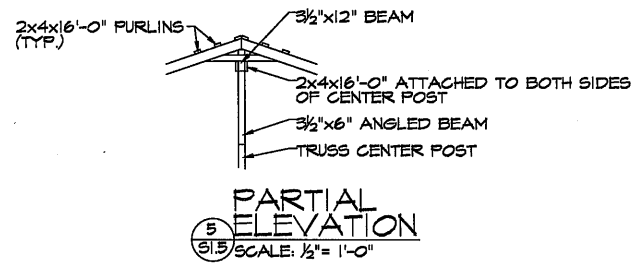
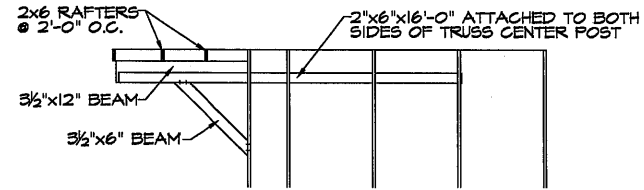
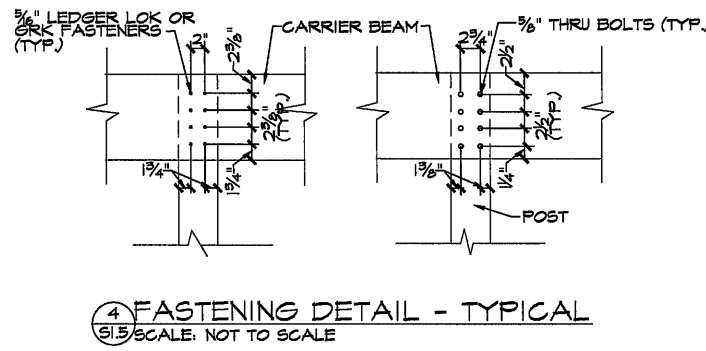
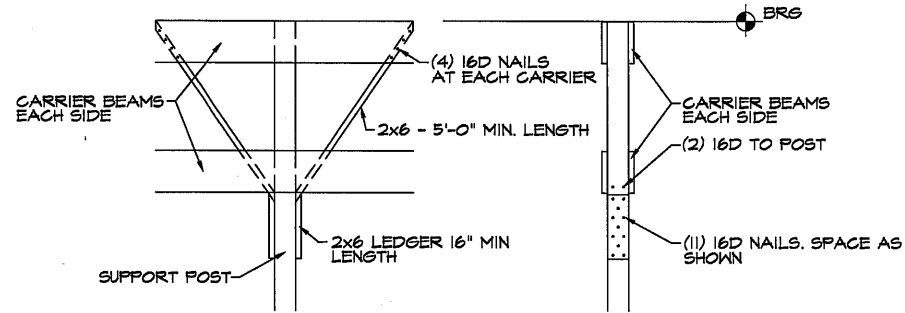
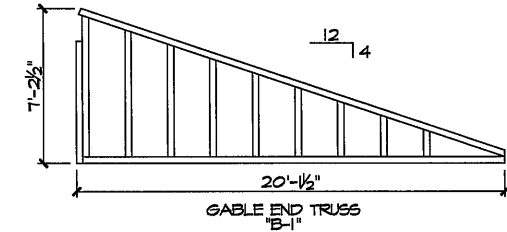
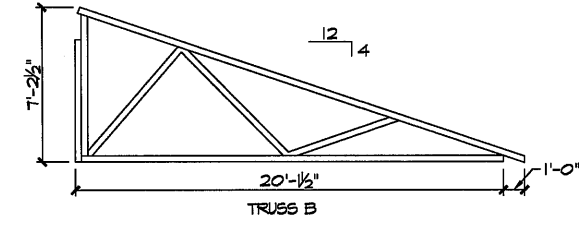
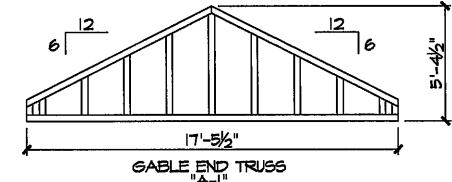
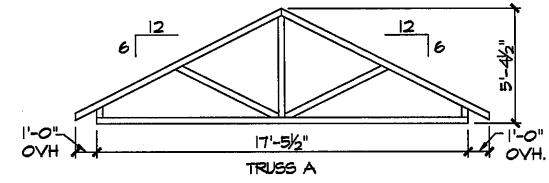
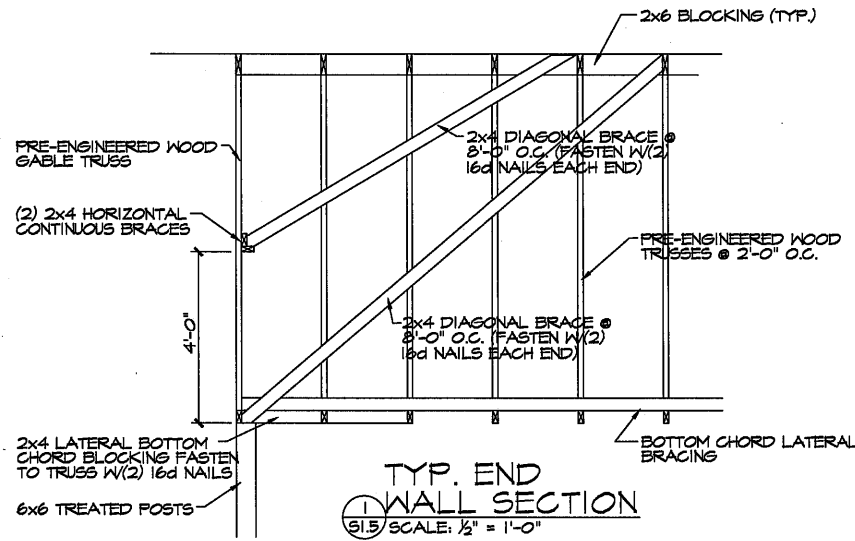
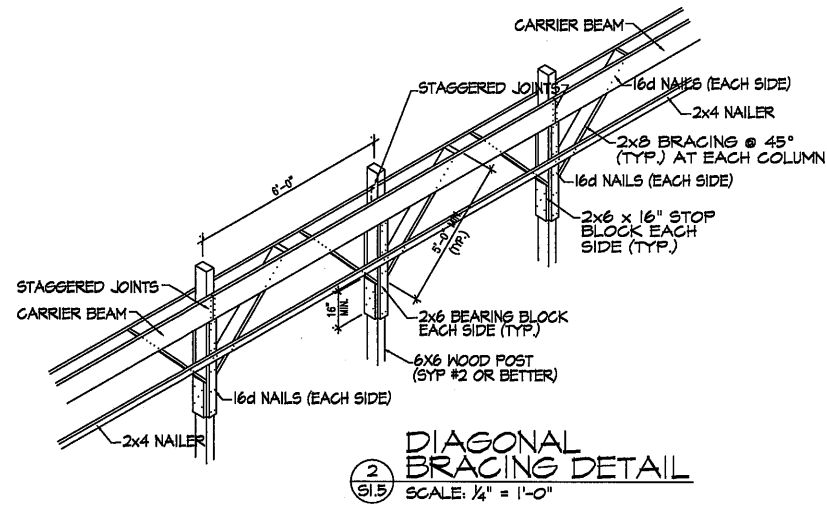
Owner Information:  
JOHN A. GALLAGHER III  
1225 STRANG ROAD  
TRAVERSE CITY, MICHIGAN  
49686

Revisions:  
06/16/23 ISSUED FOR PLANNING  
10/12/23 ISSUED FOR PERMITS/PRICING

Architect:  
CF CAMPBELL  
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Scale:  
AS NOTED  
Drawn:  
CFC/JEB/MD





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revision: 06/16/23 ISSUED FOR PERMITS/PRICING  
10/12/23 ISSUED FOR PERMITS/PRICING

owner information: LAGHER, III  
205 S. BLANK ROAD  
TRAVERSE CITY, MICHIGAN 49686

project location: 205 S. BLANK ROAD  
TRAVERSE CITY, MICHIGAN 49686

sheet title: FRAMING DETAILS  
project name: SALLAGHER DISTILLERY

0 preliminary  
1 construction

date: 06/16/23  
sheet: S1.5



scale: AS NOTED  
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 phone: (231) 947-4019  
 e-mail: jmidgett@att.net

revision: 06/16/23 ISSUED FOR PERMITS/PRICING  
 10/12/23 ISSUED FOR PERMITS/PRICING

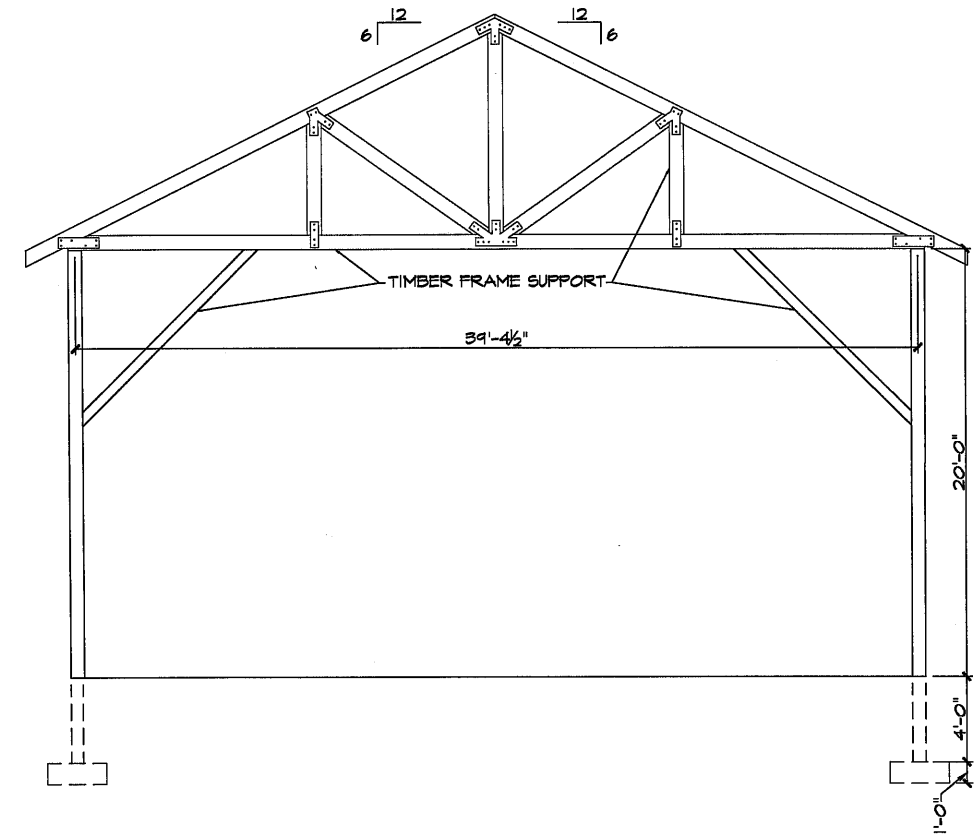
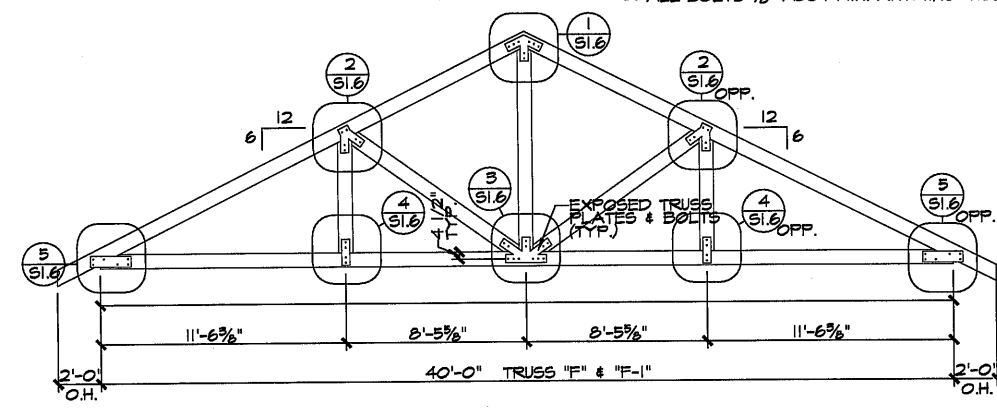
project location: JOHN A. GALLAGHER III  
 2855 STRANGS ROAD  
 TRAVERSE CITY, MICHIGAN  
 49686

sheet title: TIMBER TRUSS DETAILS  
 project name: GALLAGHER DISTILLERY

0 preliminary  
 construction  
 date: 06/16/23  
 sheet: S1.6

**TIMBER TRUSS NOTES:**

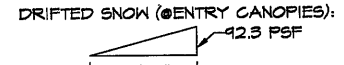
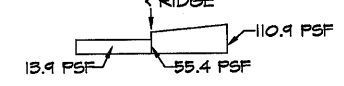
1. ALL MEMBERS 8"x4" LAMINATED BEAMS 24F-V8
2. ALL SIDE PLATES 1" THICK ASTM A-36 STEEL PLATE PAINTED
3. ALL BOLTS 3/8" A307 MIN. WITH 11/16" HOLES



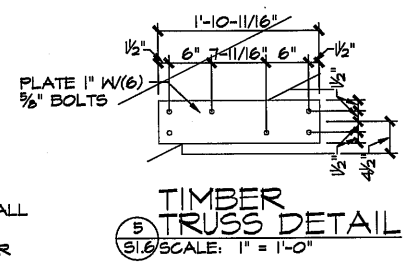
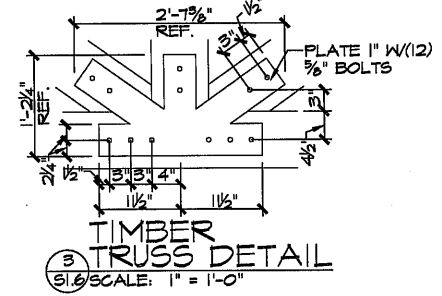
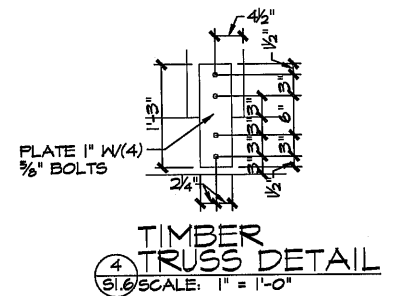
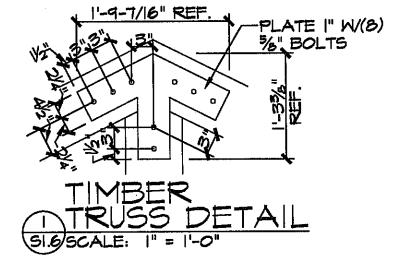
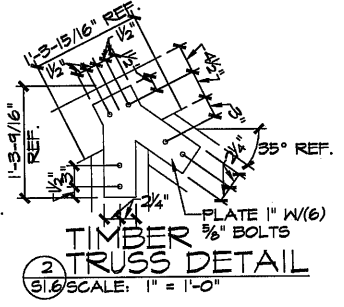
1  
 TIMBER TRUSS ELEVATION  
 S1.6 SCALE: 1/4" = 1'-0"

**DESIGN LOADS:**

- ATTIC FLOOR DEAD LOAD: 125 PSF  
 ROOF DEAD LOAD: 21 PSF (INCLUDES TRUSS WEIGHT)  
 ROOF LIVE LOAD: 20 PSF  
 ROOF OVER FRAMING DEAD LOAD: 5 PSF
- SNOW LOAD:  
 GROUND SNOW LOAD (Pg): 60 PSF  
 FLAT ROOF SNOW LOAD (Pt): 46.2 PSF (BALANCED SNOW)  
 EXPOSURE FACTOR (Ce): 1.0 EXPOSURE "B" - PARTIALLY EXP.  
 IMPORTANCE FACTOR (I): 1.0  
 THERMAL FACTOR (Ct): 1.1  
 EAVE OVERHANG SNOW LOAD: 42.4 PSF  
 UNBALANCED SNOW LOAD:



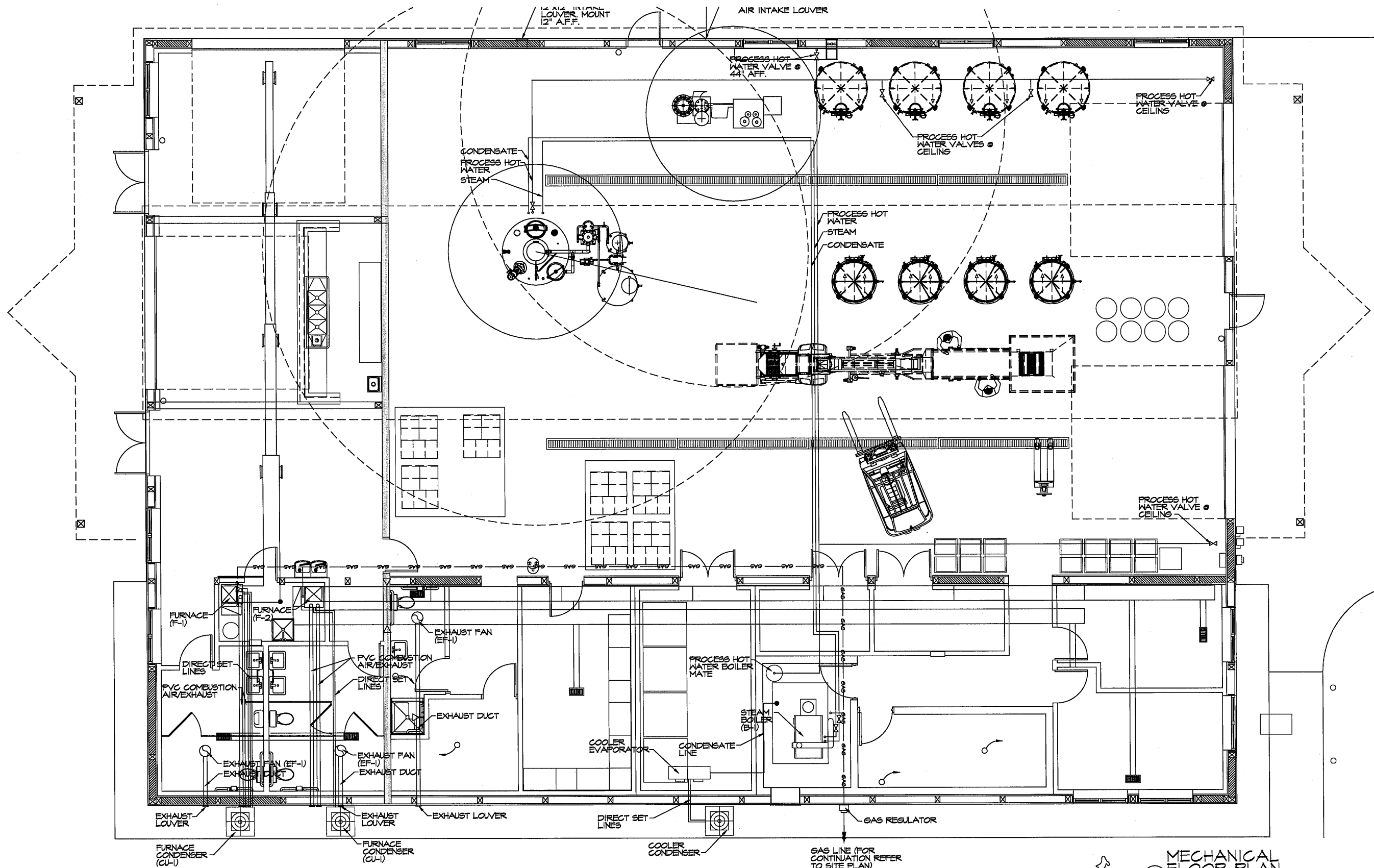
- WIND LOAD (PER ASCE/SEI 7-05):  
 SIMPLIFIED PROCEDURE:  
 BASIC WIND SPEED (V): 90 M.P.H.  
 TOPOGRAPHIC FACTOR (Kzt): 1.0  
 ADJUSTMENT FACTOR (Kd): 1.0  
 IMPORTANCE FACTOR (I): 1.0  
 WIND EXPOSURE: B



**WOOD TRUSSES CONTINUED:**

- BOTTOM CHORD LATERAL BRACING SHALL BE INSTALLED AT 10'-0" MAXIMUM INTERVALS. BOTTOM CHORD LATERAL BRACING SHALL INCLUDE DIAGONAL BRACING AT 20'-0" MAXIMUM INTERVALS. LOCATE BOTTOM CHORD LATERAL BRACING ADJACENT TO TRUSS WEB LATERAL BRACING
  - PIGGYBACK TRUSSES SHALL HAVE HORIZONTAL TOP CHORD CONTINUOUS LATERAL BRACING AT 10'-0" MAXIMUM INTERVALS. LOCATE TOP CHORD LATERAL BRACING ADJACENT TO TRUSS WEB LATERAL BRACING
  - CONTINUOUS LATERAL BRACING SHALL BE INSTALLED AND CONNECTED TO EACH TRUSS WITH MINIMUM (2) 16d NAILS. LAP CONTINUOUS LATERAL BRACING A MINIMUM OF ONE TRUSS SPACE
  - DIAGONAL BRACING SHALL BE INSTALLED AND CONNECTED TO EACH TRUSS WITH MINIMUM (2) 16d NAILS
  - BRACING MEMBER SHALL BE MINIMUM 2x4 HEM-FIR #2 OR BETTER
- CONTRACTOR SHALL INCLUDE THE COST TO PROVIDE AND INSTALL PERMANENT LATERAL BRACING IN HIS BID
  - WOOD TRUSSES AND/OR STRUCTURAL FRAMING ARE SHOWN AS A GENERAL LAYOUT ONLY & THE EXACT PLACEMENT SHALL BE FIELD VERIFIED. HOWEVER FRAMING PLACEMENT SHALL NOT EXCEED THE DRAWING REQUIREMENTS
  - SCISSOR TRUSSES SHALL BE DESIGNED FOR A MAXIMUM ALLOWABLE HORIZONTAL MOVEMENT OF 1" AT EACH END UNDER FULL LOADING. SCISSOR TRUSSES SHALL UTILIZE SLIDE PLATE CONNECTIONS SIMILAR TO SIMPSON "TC" CONNECTORS. CONNECTOR INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS & INSTALLED AT ALL TRUSS BEARING LOCATIONS. AFTER FINAL REACTIONS ARE INCURRED, ROOFING MATERIALS INSTALLED, THE SLIDE PLATE CONNECTORS SHALL BE FULLY SEATED IN THE TRUSS FIXING IT TO THE BEARING SUPPORT. BOWING OR DEFLECTION OF BOTTOM CHORDS IS TO BE KEPT TO INDUSTRY ESTABLISHED LIMITS & CONTROLS ARE TO BE IMPLEMENTED TO MINIMIZE ANY DIMENSIONAL CHANGES IN THE PREFABRICATED ASSEMBLIES





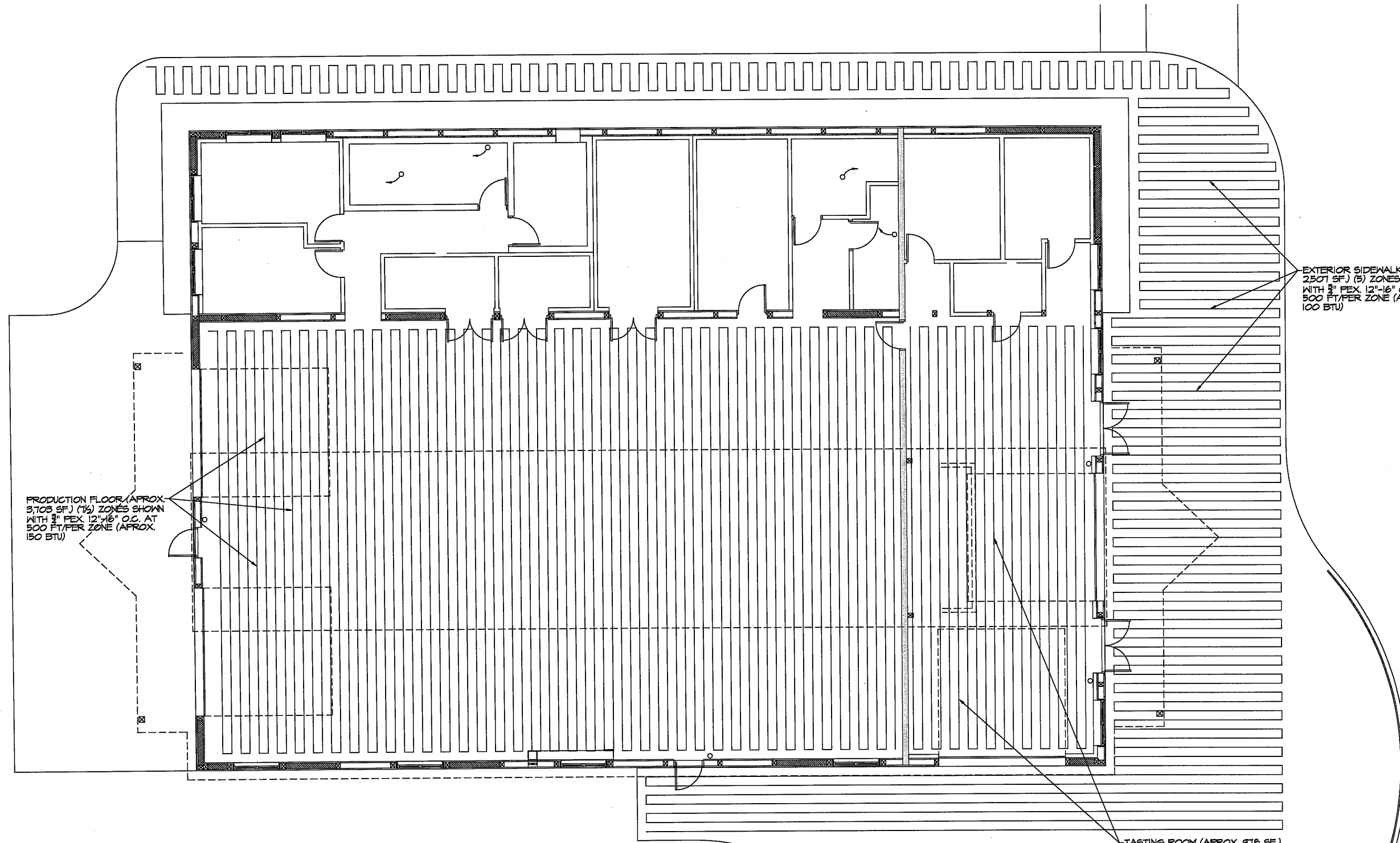
**GENERAL NOTES:**

- MECHANICAL SYSTEMS ARE SHOWN SCHEMATICALLY. SYSTEMS TO BE DEVELOPED ON A DESIGN/BUILD BASIS. ALL WORK TO BE IN ACCORDANCE WITH THE 2012 MICHIGAN BUILDING CODE AND AUTHORITIES HAVING JURISDICTION. SYSTEMS TO BE FULLY OPERATIONAL.
- F-1 AND F-2 TO BE 3-TON UNITS
- PROVIDE STEAM TRAPS, DRIP LEGS, AND CHECK VALVES AS NECESSARY.

MECHANICAL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

J.M.L. DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

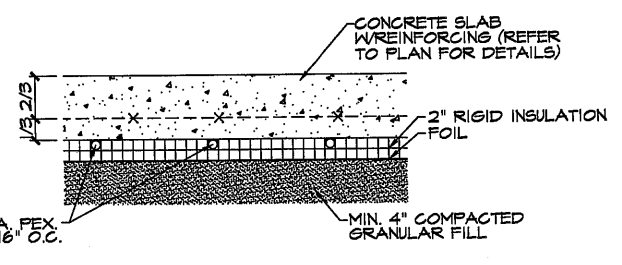
<p>architect:  <b>J.M.L. DESIGN GROUP, LTD.</b>          phone: (231) 947-9019          e-mail: jml@jml.net</p>	<p>engineer:  <b>CF CAMPBELL</b>          phone: (231) 947-9019          e-mail: jml@jml.net</p>
<p>project location:  <b>225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684</b></p>	<p>project name:  <b>GALLAGHER DISTILLERY</b></p>
<p>date:  <b>06/16/23</b></p>	<p>sheet:  <b>M.1</b></p>
<p>status:  <input type="radio"/> preliminary  <input checked="" type="radio"/> construction</p>	<p>notes:          06/16/23 ISSUED FOR PLANNING          10/12/23 ISSUED FOR PERMITS/PRICING</p>



PRODUCTION FLOOR (APPROX. 3,703 SF.) (1/2) ZONES SHOWN WITH 3/4" PEX 12"-16" O.C. AT 500 FT/PER ZONE (APPROX. 150 BTU)

EXTERIOR SIDEWALK (APPROX. 2,507 SF.) (5) ZONES SHOWN WITH 3/4" PEX 12"-16" O.C. AT 500 FT/PER ZONE (APPROX. 100 BTU)

TASTING ROOM (APPROX. 918 SF.) (2) ZONES SHOWN WITH 3/4" PEX 12"-16" O.C. AT 500 FT/PER ZONE (APPROX. 40 BTU)



INSULATED SLAB DETAIL  
 (M1.2) SCALE: NOT TO SCALE

**GENERAL NOTES:**

1. MECHANICAL SYSTEMS ARE SHOWN SCHEMATICALLY. SYSTEMS TO BE DEVELOPED ON A DESIGN/BUILD BASIS. ALL WORK TO BE IN ACCORDANCE WITH THE 2012 MICHIGAN BUILDING CODE AND AUTHORITIES HAVING JURISDICTION. SYSTEMS TO BE FULLY OPERATIONAL.
2. NUMBER OF IN FLOOR ZONES TO BE CALCULATED BASED ON TUBE SIZE, CIRCUIT LENGTH, AND TUBE SPACING.
3. TOTAL IN FLOOR HEAT APPROX. 160,000 BTU



MECHANICAL FLOOR PLAN  
 (M1.2) SCALE: 3/16" = 1'-0"

JML DESIGN GROUP, L.T.D. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

scale: AS NOTED  
 architect: CF CAMPBELL  
 phone: (231) 447-4014  
 e-mail: jmljdg@att.net

revision: 06/16/23 ISSUED FOR PERMITS/PRICING  
 10/12/23 ISSUED FOR PERMITS/PRICING

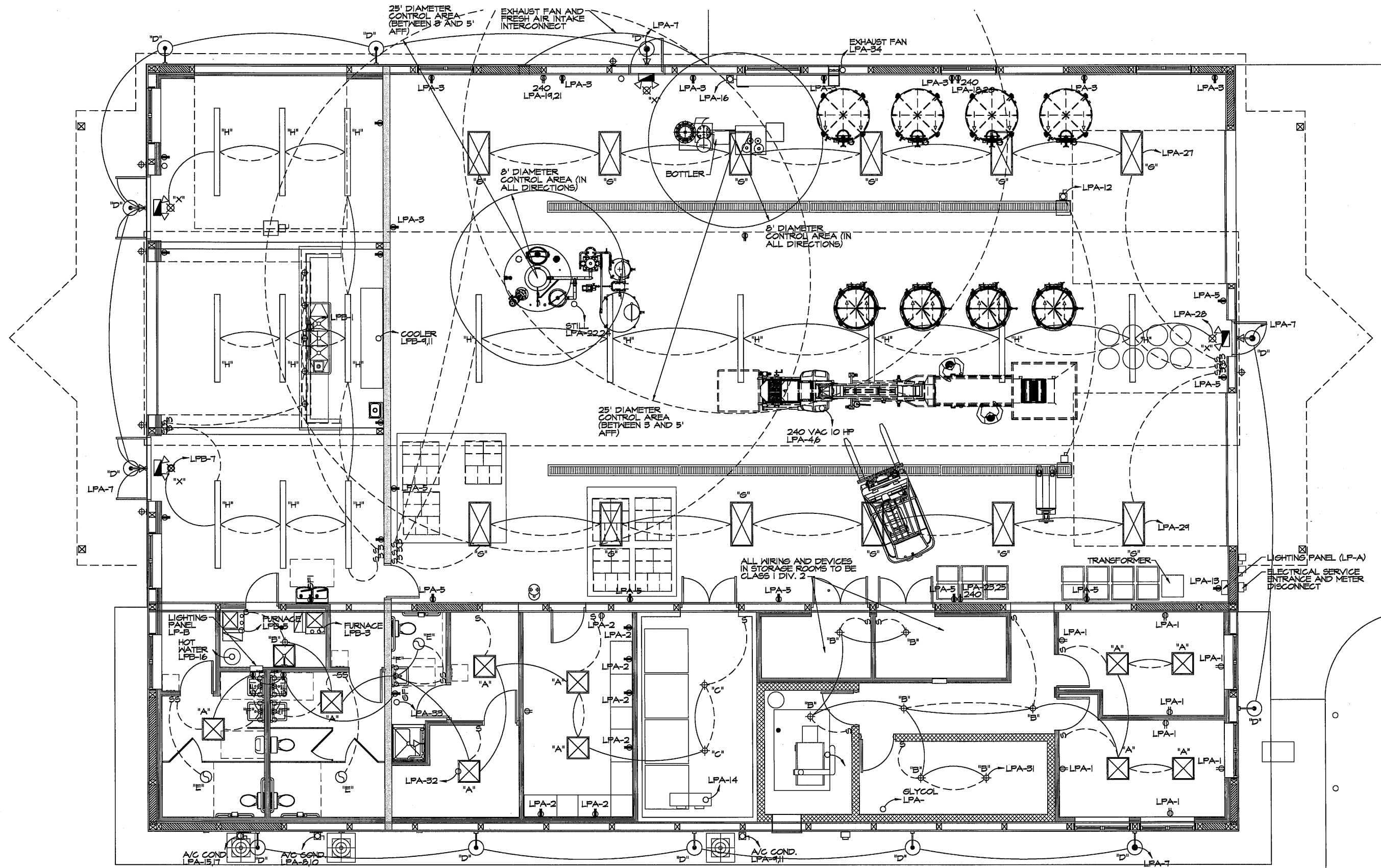
owner information:  
 JOHN A. GALLAGHER, III  
 8855 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686

sheet title:  
**MECHANICAL PLAN**  
 project name:  
**GALLAGHER DISTILLERY**

preliminary construction

date: 06/16/23  
 sheet: M1.2





**GENERAL NOTES:**

1. AREA WITHIN 8' OF OPEN ALCOHOL EQUIPMENT IS CLASSIFIED CLASS I DIVISION 2
2. ELECTRICAL FIXTURES WITHIN 25'-0" DIAMETER CIRCLE AND LESS THAN 3'-0" A.F.F. MUST BE CLASSIFIED CLASS I DIVISION 2

NORTH  
**ELECTRICAL FLOOR PLAN**  
 (E1) SCALE: 1/4" = 1'-0"

J.M.L. DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

sheet title: <b>ELECTRICAL FLOOR PLAN</b>	date: 06/16/23
sheet no.: M-1	sheet: 1
project location: 2535 STRANG ROAD TRAVERSE CITY, MICHIGAN 49686	project name: <b>SALLAGHER DISTILLERY</b>
owner information: SALLAGHER, III JOHN STRANG ROAD TRAVERSE CITY, MICHIGAN 49686	construction
architect: C.F. CAMPBELL phone: (231) 947-4019 e-mail: jml@att.net	AS NOTED draw: CFC/JEB/MD
revision: 09/19/23 ISSUED FOR PERMITS/PRICING 10/12/23 ISSUED FOR PERMITS/PRICING	date: 06/16/23

PANEL BOARD DESIGNATION: LP-B  
120/208 VOLTS 3-PHASE  
SURFACE MOUNTED 200 AMP BUS 200 AMP MAIN

#	AMP	DESCRIPTION	DESCRIPTION	AMP	#
1	20	DOOR OPERATORS	EWC	20	2
3		FURNACE	WATER HEATER		4
5		FURNACE	WATER HEATER		6
7		LIGHTS			8
9		COOLERS			10
11					12
13					14
15					16
17					18
19					20
21					22
23					24
25					26
27					28
29					30
31					32
33					34
35					36
37					38
39					40
41					42

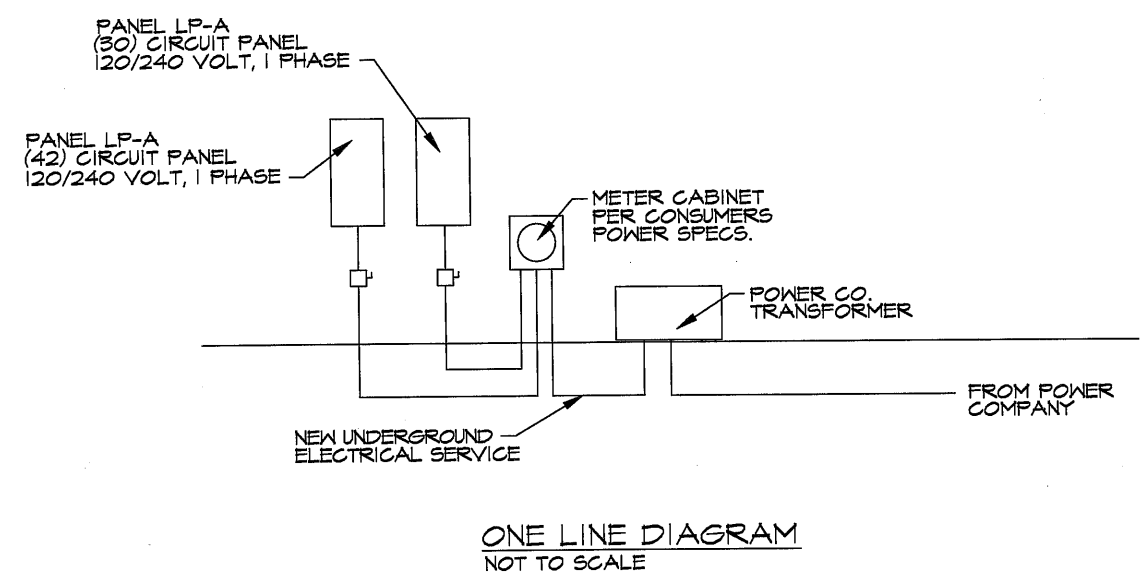
PANEL BOARD DESIGNATION: LP-A  
120/240 VOLTS 1-PHASE  
SURFACE MOUNTED 200 AMP BUS 200 AMP MAIN

#	AMP	DESCRIPTION	DESCRIPTION	AMP	#
1	20	RECEPTACLES	RECEPTACLES	20	2
3	20	RECEPTACLES	FRUIT PROCESSOR	30	4
5	20	RECEPTACLES	FRUIT PROCESSOR	30	6
7	15	OUTSIDE LITES	A/C COND.	30	8
9	30	A/C COND.	A/C COND.		10
11		A/C COND.	DOOR OPERATORS	20	12
13	20	PANEL REC.	EVAPORATOR	20	14
15	30	A/C COND.	BOTTLER	20	16
17		A/C COND.	RECEPTACLE	20	18
19	20	RECEPTACLE	RECEPTACLE	20	20
21		RECEPTACLE	STILL	20	22
23	20	RECEPTACLE	STILL	20	24
25		RECEPTACLE	LIGHTS	15	26
27	15	LIGHTS	BOILER	20	28
29	15	LIGHTS	BOILER	20	30
31	15	LIGHTS	LIGHTS	15	32
33		GFI REC.	EXH. FAN	20	34
35					36
37					38
39					40
41					42

TOTAL CONNECTED LOAD: 180.6 AMPS

**FIXTURE SCHEDULE:**

- "A" LIGHT FIXTURE TO BE 2'x2' LED SURFACE MOUNTED
- "B" LIGHT FIXTURE TO BE CLASS 1 DIV. 2 EXPLOSION PROOF
- "C" LIGHT FIXTURE TO BE PROVIDED BY COOLER MFG.
- "D" DECORATIVE LIGHT FIXTURE TO BE SELECTED BY OWNER
- "E" BATH FAN TO BE FAN/LIGHT COMBINATION
- "F" LIGHT TO BE BATHROOM LIGHT BAR AS SELECTED BY OWNER
- "G" LIGHT FIXTURE TO BE 2x4 HIGH BAY LED
- "H" LIGHT FIXTURE TO BE 1x8 HIGH BAY LED
- "X" EXIT/EMERGENCY LIGHT TO BE LED WITH RED LETTERS, DUAL HEADS, WITH BATTERY BACK UP AND REMOTE HEAD



**SYMBOL LEGEND**

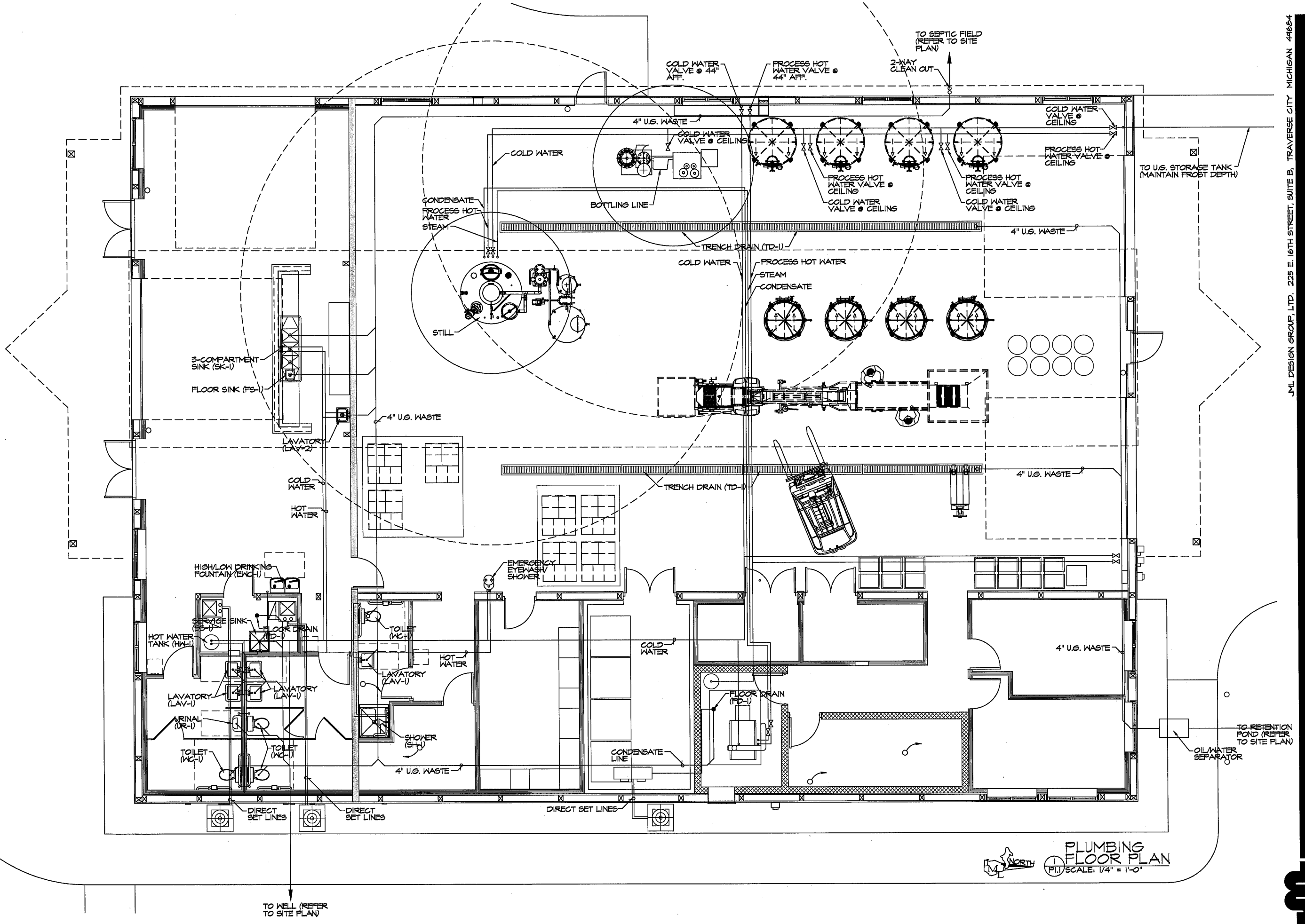
SYMBOL	DESCRIPTION
S	20A-120V, SINGLE POLE TOGGLE SWITCH MOUNTED 48" AFF UNLESS OTHERWISE NOTED
R	20A-120V, SINGLE POLE REOSTAT SWITCH MOUNTED 48" AFF UNLESS OTHERWISE NOTED
⊕	15A/125V GROUNDING TYPE DUPLEX CONVENIENCE OUTLET MOUNTED 18" AFF UNLESS OTHERWISE NOTED.
⊖	15A/125V GROUNDING TYPE DUPLEX CONVENIENCE OUTLET MOUNTED 44" AFF UNLESS OTHERWISE NOTED.
▽	TELEPHONE OUTLET 18" AFF. PROVIDE 3/4" C WITH PULLWIRE TO ACCESSIBLE CEILING SPACE
⊙	JUNCTION BOX SIZE AS REQUIRED
□	LIGHTING PANEL
NL	NIGHT LIGHT
GFI	GROUND FAULT CIRCUIT INTERRUPTER
WP	WEATHER PROOF
■	NITE LIGHT
⊙	SMOKE DETECTOR
⊙	SPEAKER
WAC	WIRELESS AREA CONTROLLER
(WS)	WALL STATION
⊕	WIRELESS CONTROLLED FIXTURE

JML DESIGN GROUP, L.T.D. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

project location: 2255 STRANG ROAD TRAVERSE CITY, MICHIGAN 49686  
 owner information: JOHN A. GALLAGHER, III 2255 STRANG ROAD TRAVERSE CITY, MICHIGAN 49686  
 architect: CF CAMPBELL phone: (231) 447-4014 e-mail: jml@jmlnet.net  
 notes: AS NOTED draw: CFC/LEEMD

revision: 06/16/23 ISSUED FOR PERMITS/PRICING  
 10/12/23 ISSUED FOR PERMITS/PRICING  
**ELECTRICAL DETAILS**  
 project name: GALLAGHER DISTILLERY

sheet title: ELECTRICAL DETAILS  
 sheet: E1.2  
 date: 06/16/23



JML DESIGN GROUP, LTD., 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

scale:  
AS NOTED  
drawn: CFC/JEB/MD

architect:  
C.F. CAMPBELL  
phone: (231) 947-4019  
e-mail: jml@gcdtt.net

revision:  
09/16/23 ISSUED FOR PLANNING  
10/12/23 ISSUED FOR PERMITS/PRICING

owner information:  
JOHN A. GALLAGHER III  
8885 STRANG ROAD  
TRAVERSE CITY, MICHIGAN  
49686

sheet title:  
**PLUMBING PLAN**  
project name:  
**GALLAGHER DISTILLERY**

0 preliminary  
1 construction

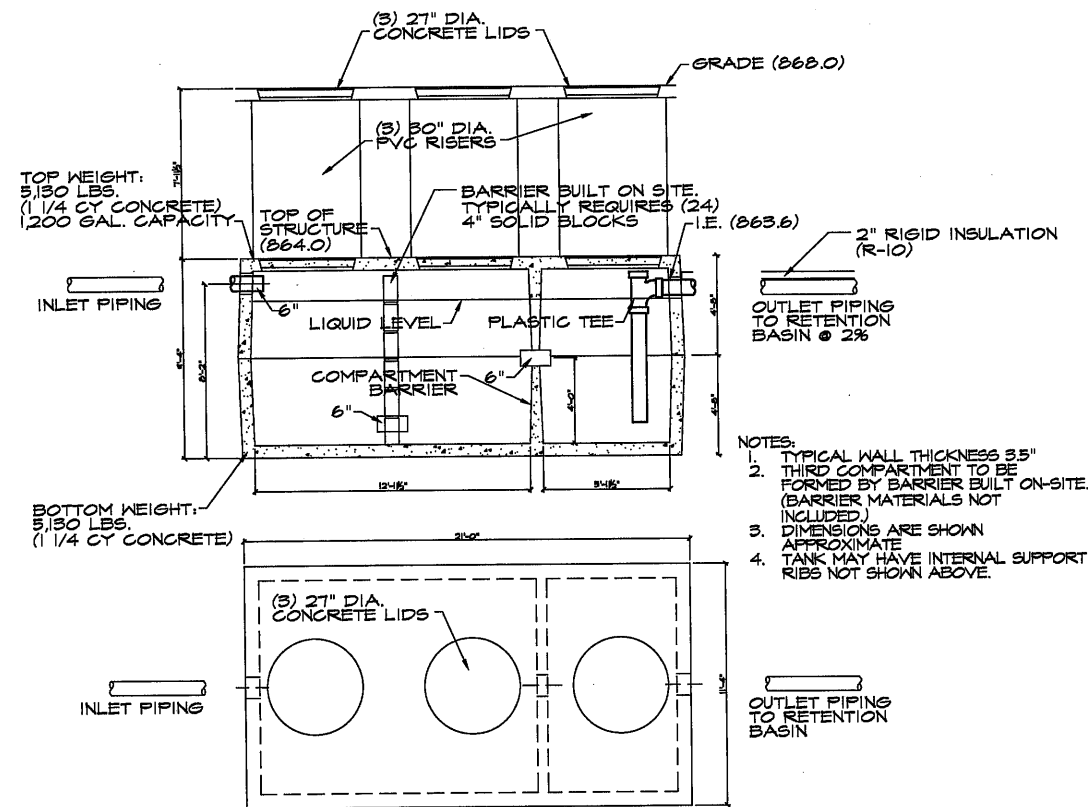
date:  
06/16/23  
sheet:  
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**PLUMBING FLOOR PLAN**  
PI.1 SCALE: 1/4" = 1'-0"

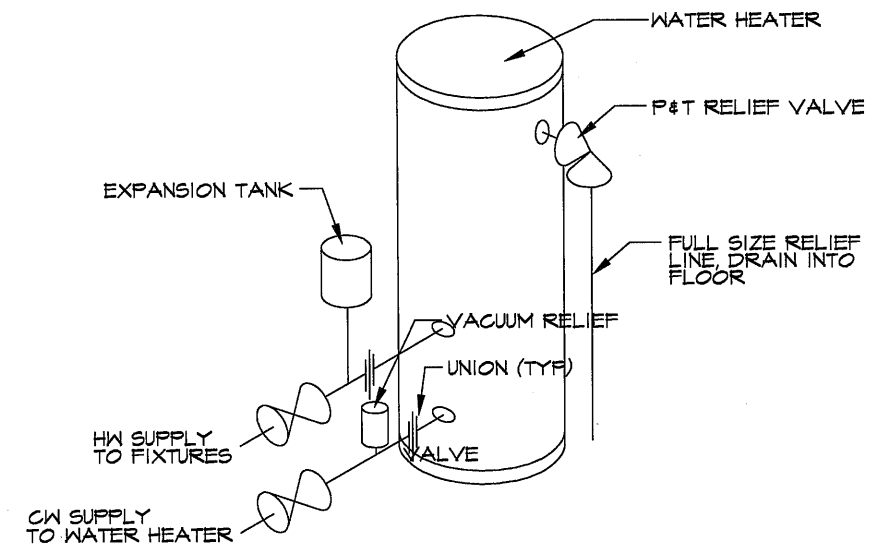


## PLUMBING FIXTURE SCHEDULE

TAG	DESCRIPTION	MFG.	MODEL	ROUGH-IN SIZE			TRIM	REMARKS
				CW	HW	SAN		
WC-1	FL MTD, ELONGATED WATER CLOSET, TANK			1/2"	—	3"	WHITE, OPEN SEAT	CHROME STOP, SUPPLY
LAV-1	LAVATORY DROP IN VITREOUS CHINA			1/2"	1/2"	1-1/2"	WHITE, GRID STRAINER	CHROME STOPS, SUPPLIES INSUL SUPPLIES & TRAP GUARD PER ADA
LAV-2	SS. HANDWASH LAVATORY			1/2"	1/2"	1-1/2"		
EWC-1	HIGH/LOW DRINKING FOUNTAIN			1/2"	1/2"	1-1/2"		
SS-1	SERVICE SINK			1/2"	1/2"	1-1/2"		FLOOR STYLE
SH-1	SHOWER			1/2"	1/2"	1-1/2"		
TD-1	TRENCH DRAIN						DUCTILE IRON SLOTTED GRATE	
FD-1	FLOOR DRAIN							
FS-1	FLOOR SINK							
SK-1	3-COMPARTMENT SINK			1/2"	1/2"	1-1/2"		
HW-1	HOT WATER TANK			3/4"	3/4"	---		40 GALLON ELECTRIC



**OIL/WATER SEPARATOR DETAILS**  
 (1) SCALE: 1/2" = 1'-0"



**HOT WATER TANK PIPING DIAGRAM**  
 NOT TO SCALE

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

scale: AS NOTED

drawn: CFC/JEB/MD

architect: CF CAMPBELL

phone: (231) 447-4014

e-mail: jml@jcdt.net

revision: 06/16/23 ISSUED FOR PLANNING

10/12/23 ISSUED FOR PERMITS/PRICING

owner information: JOHN A. GALLAGHER, III

2855 STRANGS ROAD

TRAVERSE CITY, MICHIGAN 49686

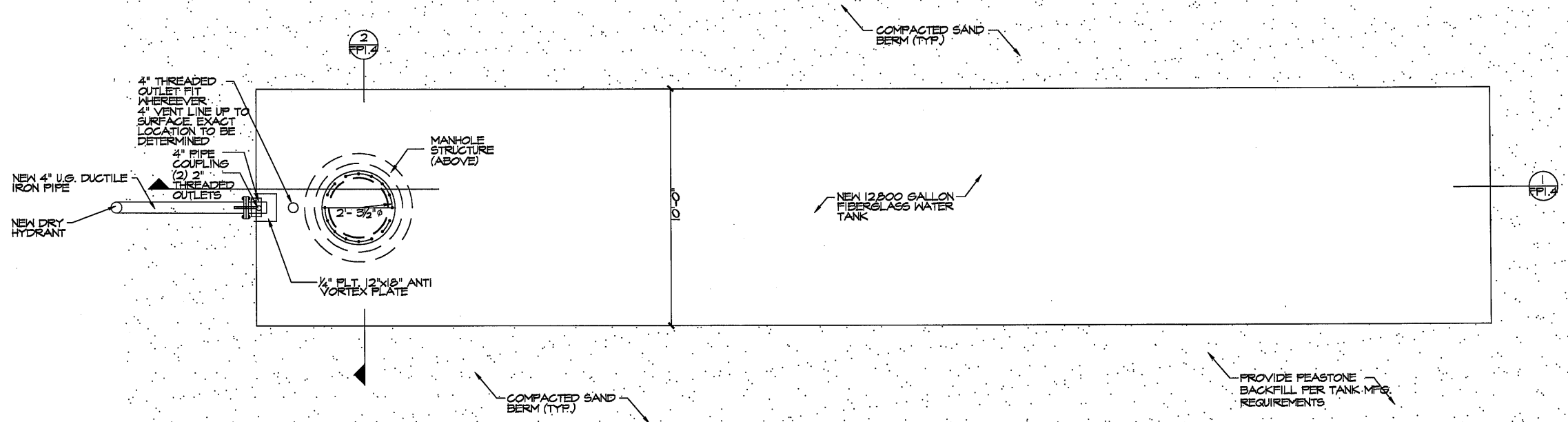
sheet title: PLUMBING DETAILS

project name: GALLAGHER DISTILLERY

0 preliminary construction

date: 06/16/23

sheet: 01.2



1 ENLARGED PLAN  
 FPI.0 SCALE: NOT TO SCALE

JML DESIGN GROUP, LTD., 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

Project Location: WING ROAD  
 TRAVERSE CITY, MICHIGAN 49686  
 49686

Owner Information:  
 JOHN E. LLAGHER, III  
 1833 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN  
 49686

sheet title:  
**TANK DETAILS**  
 project name:  
**GALLAGHER DISTILLERY**

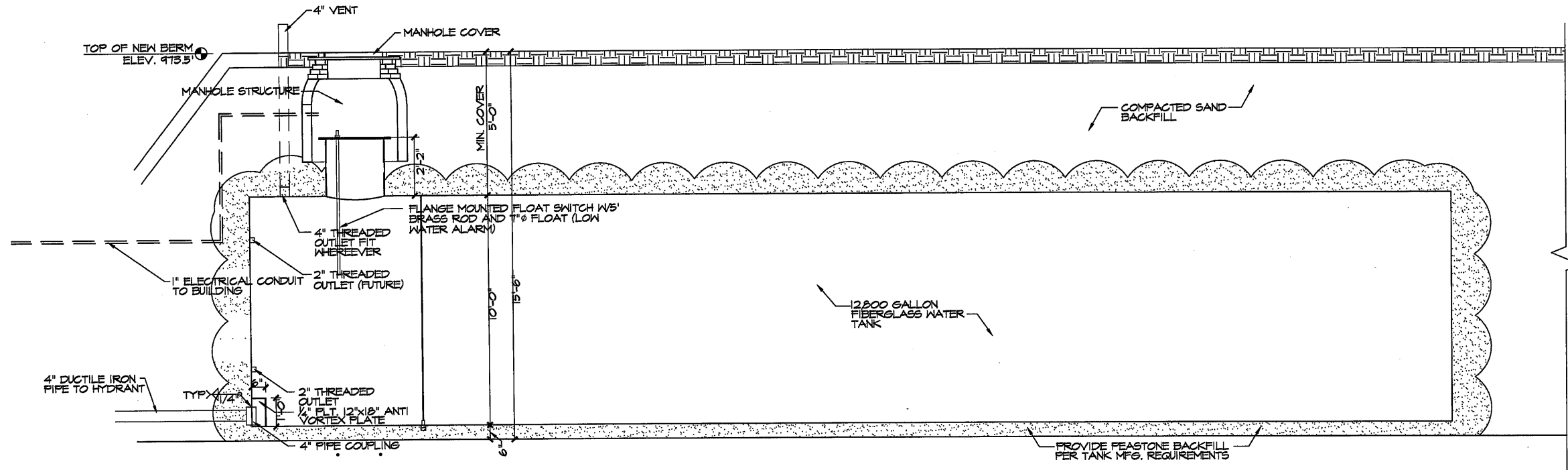
preliminary  
 preliminary  
 construction

date:  
 06/16/23  
 sheet:  
 10.0

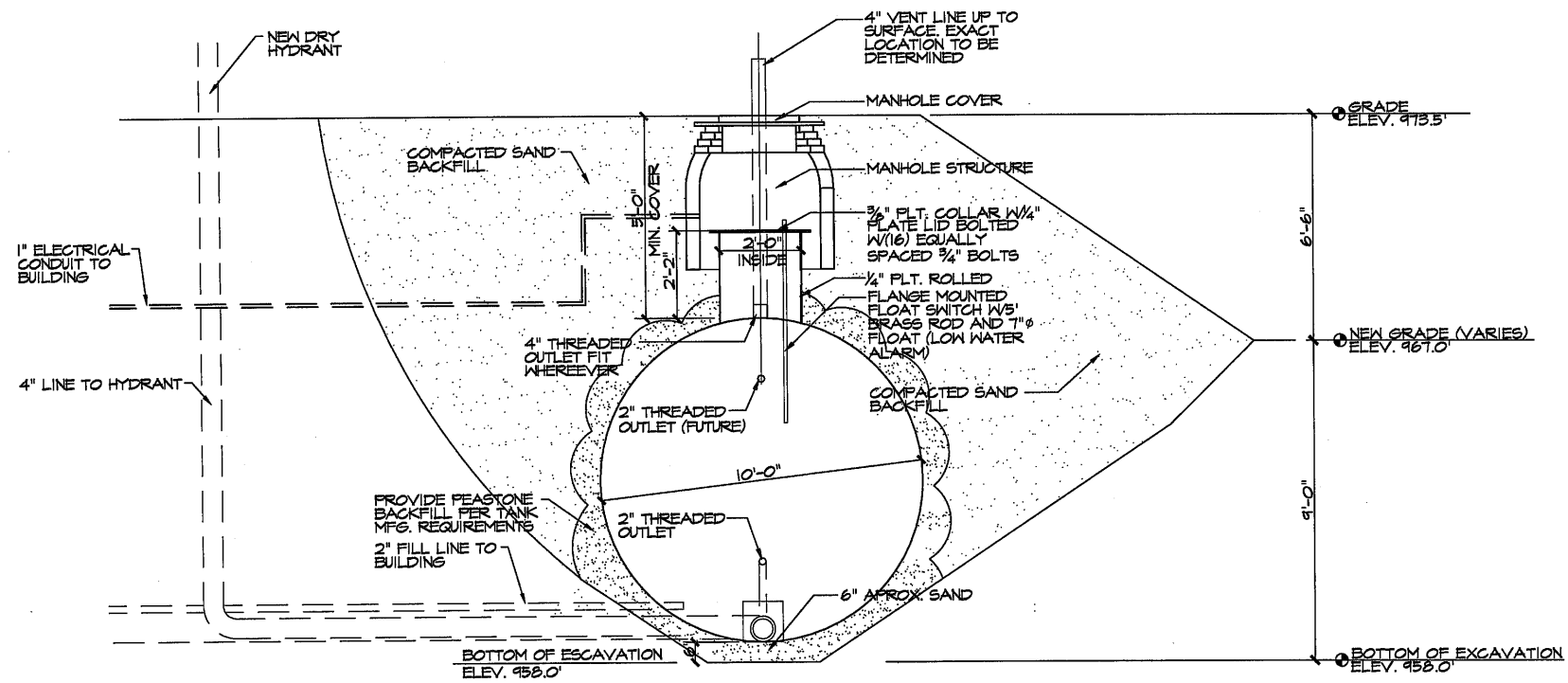
scale:  
 AS NOTED  
 drawn:  
 CFC/JEB/MD  
 e-mail: jml@gdt.net

approved:  
 CF CAMPBELL  
 phone: (231) 947-4019  
 e-mail: jml@gdt.net

revision:  
 06/16/23 ISSUED FOR PLANNING  
 10/12/23 ISSUED FOR PERMITS/PRICING



1 LONGITUDINAL SECTION  
 FPII SCALE: 1/2" = 1'-0"



2 TANK CROSS SECTION  
 FPII SCALE: 1/2" = 1'-0"

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY, MICHIGAN 49684

scale: AS NOTED  
 AS NOTED  
 draw: CFC/JEB/MD

architect: CF CAMPBELL  
 phone: (231) 947-9019  
 e-mail: jmlidg@att.net

revisions:  
 06/16/23 ISSUED FOR PLANNING  
 10/12/23 ISSUED FOR PERMITS/PRICING

owner information:  
 JOHN A. GALLAGHER, III  
 2555 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686

sheet title:  
**TANK DETAILS**  
 project name:  
**GALLAGHER DISTILLERY**

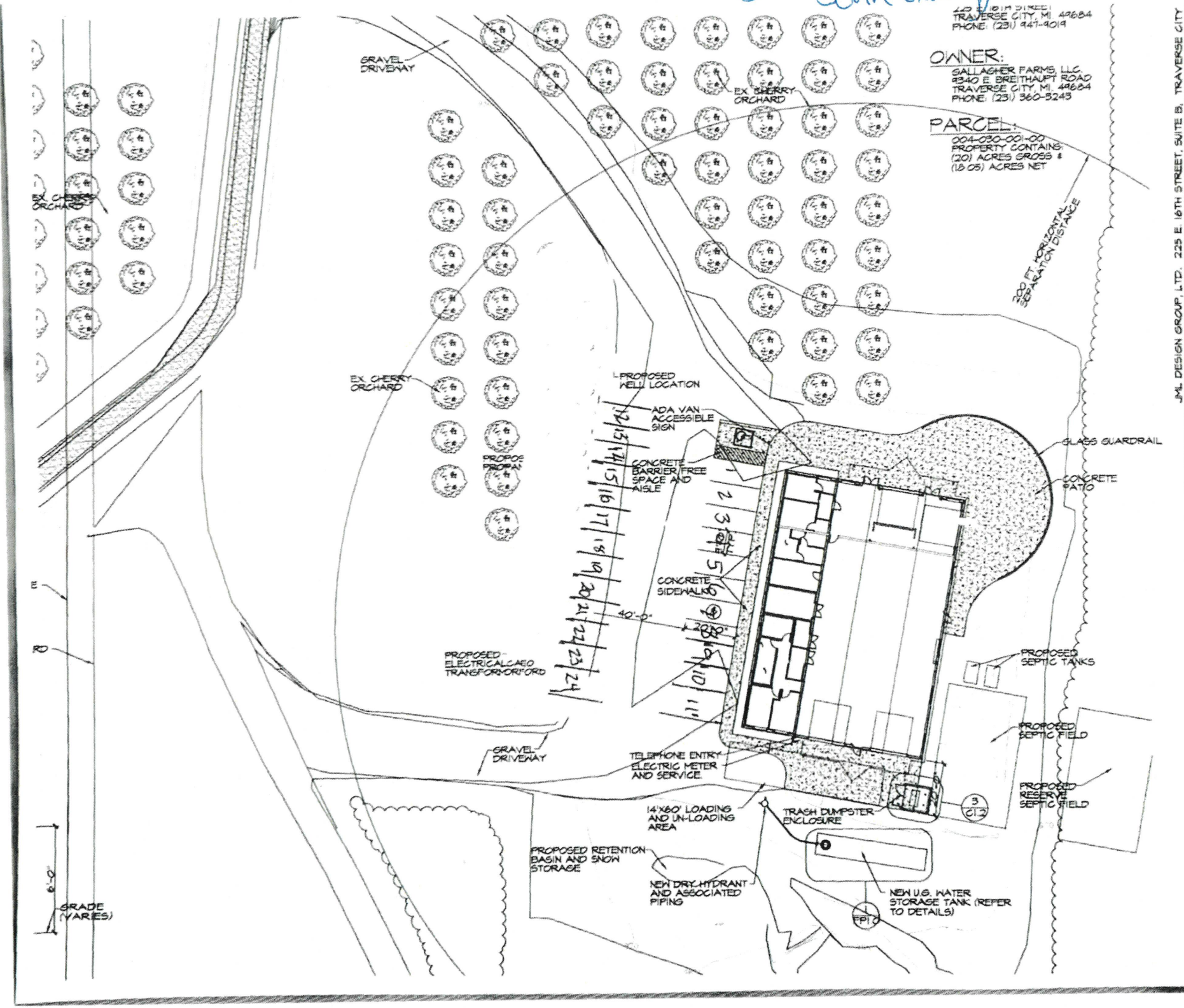
0 preliminary  
 1 construction

date:  
 06/16/23  
 sheet:  
 10.1





Bay View Distillery Revised Parking Plan  
 John Gallagher III 2/7/2024



225 E. 16TH STREET  
 TRAVERSE CITY, MI 49684  
 PHONE: (231) 947-9019

OWNER:  
 GALLAGHER FARMS, LLC  
 4340 E BREITHAUPT ROAD  
 TRAVERSE CITY, MI 49684  
 PHONE: (231) 360-3243

PARCEL:  
 004-030-001-00  
 PROPERTY CONTAINS:  
 (20) ACRES GROSS &  
 (16.05) ACRES NET

J.M.L. DESIGN GROUP, L.P.D., 225 E. 16TH STREET, SUITE B, TRAVERSE CITY

architect  
 CF CAMPBELL  
 phone: (231) 947-9019  
 e-mail: j.m.l.dg@att.net

revisions  
 06/16/23 ISSUED FOR PLANNING  
 10/12/23 ISSUED FOR PERMITS/PRICING

owner information  
 JOHN A. GALLAGHER, III  
 2655 STRANG ROAD  
 TRAVERSE CITY, MICHIGAN 49686  
 49686

sheet title  
**ENLARGED SITE PLAN**  
 project name  
**GALLAGHER DISTILLERY**

GRADE (VARIES)



## **NOTICE OF PUBLIC HEARING**

### **ELMWOOD CHARTER TOWNSHIP**

### **PLANNING COMMISSION**

The following Public Hearings are scheduled for Tuesday, March 19, 2024, at 7:00 p.m. before the Elmwood Charter Township Planning Commission to consider:

1. ZO 2017-04-22 – a Zoning Ordinance Amendment to amend Section 2.2 to add a definition for Dwelling, Multi and to modify the existing definitions for Parcel, Lot, lot Area and Net Lot Area; amend Section 3.14 to reintroduce development requirements for Multi-Dwelling developments; add Note 'I' to Section 5.6 to reference residential density requirements to Section 3.14; modify Section 7.1.2 so residential base density is determined using net acreage; modify Section 7.2.2 so residential density is based off of net lot area; modify Section 8.4.12 to have Site Plan Review applicants submit the gross lot area and net lot area.
2. ZO 2017-04-23 - a Zoning Ordinance Amendment to amend Section 2.2 to add definitions for Alcohol, Beer, Brewer, Brewery, Distiller, Micro Brewer, Small Distiller, Small Wine Maker, Spirits, Tasting Room, Wine Maker, revise definitions for Distillery, Wine, Winery, and eliminate definitions for Distillery Tasting Room, Wine, Brandy, Wine Drink, Mixed, Wine Related Beverages, and Wine Tasting Room; amend Section 5.4 to eliminate Distillery Tasting Rooms, Microbreweries/Distilleries, and Wine Tasting Room, Add 'Distillery and/or Brewery' and 'Tasting Room' as permitted uses under Site Plan Review or Special Use Permit in certain zoning districts, allow Winery as a use within the General Commercial and Light Industrial districts under Site Plan Review, renumber uses; amend Section 5.5.K to eliminate two requirements for Temporary Produce Stands and renumber subsequent requirements; add Section 5.5.N to contain requirements for Wineries, Distilleries, and Breweries; amend Section 6.1.3 to list parking requirements for Wineries, Distilleries, and Breweries; amend Section 9.8.J to contain requirements for Tasting Rooms for Wineries, Distilleries, and Breweries; eliminate Section 9.8.L Distillery Tasting Room and its requirements and reserve Section 9.8.L for future use.

A complete copy of the amendments are available at the Township Hall by appointment or online at [www.elmwoodmi.gov](http://www.elmwoodmi.gov).

The public hearing will be held at the Elmwood Township Hall, 10090 E. Lincoln Road, Traverse City. Individuals can make public comment or submit written comments, in person, at the public hearing. Written comments may be submitted prior to the public hearing by mailing them to: Planning and Zoning Department, 10090 E. Lincoln Rd, Traverse City, MI 49684 or [planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov). Written comments submitted prior to the public hearing will be received until 5:00 pm, Tuesday, March 19, 2024.

Individuals planning to attend who require reasonable auxiliary aids should contact Connie Preston, Township Clerk at (231) 946-0921.

Posted: 2-28-2024 at 2:35pm  
Elmwood Township Hall  
Connie Preston, Clerk

**Public Notices**  
**For Leelanau County**  
 Notices  
 Past and Present  
 may also be viewed at:  
**LeelanauNews.com**

**YOUR RIGHT TO KNOW**  
 Notices printed in newspapers help fulfill the citizen's Constitutional right of due process by law by putting them on notice of matters that affect them or their property.

**Elmwood Township Planning Commission Notice of Public Hearing**

The following Public Hearings are scheduled for Tuesday, March 19, 2024, at 7:00 p.m. before the Elmwood Charter Township Planning Commission to consider:

1. ZO 2017-04-22 - a Zoning Ordinance Amendment to amend Section 2.2 to add a definition for Dwelling, Multi and to modify the existing definitions for Parcel, Lot, Lot Area and Net Lot Area; amend Section 3.14 to reintroduce development requirements for Multi-Dwelling developments; add Note 'f' to Section 5.6 to reference residential density requirements to Section 3.14; modify Section 7.1.2 so residential base density is determined using net acreage; modify Section 7.3.2 so residential density is based off of net lot area; modify Section 8.4.12 to have Site Plan Review applicants submit the gross lot area and net lot area.
2. ZO 2017-04-23 - a Zoning

Ordinance Amendment to amend Section 2.2 to add definitions for Alcohol, Beer, Brewer, Brewery, Distiller, Micro Brewer, Small Distiller, Small Wine Maker, Spirits, Tasting Room, Wine Maker, revise definitions for Distillery, Wine, Winery, and eliminate definitions for Distillery Tasting Room, Wine, Brandy, Wine Drink, Mixed, Wine Related Beverages, and Wine Tasting Room; amend Section 5.4 to eliminate Distillery Tasting Rooms, Microbreweries/Distilleries, and Wine Tasting Room, Add 'Distillery and/or Brewery' and 'Tasting Room' as permitted uses under Site Plan Review or Special Use Permit in certain zoning districts, allow Winery as a use within the General Commercial and Light Industrial districts under Site Plan Review, renumber uses; amend Section 5.5.K to eliminate two requirements for Temporary Produce Stands and renumber subsequent requirements; add Section 5.5.N to contain requirements for Wineries, Distilleries, and Breweries; amend Section 6.1.3 to list parking requirements for Wineries, Distilleries, and Breweries; amend Section 9.8.J to contain requirements for Tasting Rooms

for Wineries, Distilleries, and Breweries; eliminate Section 9.8.L Distillery Tasting Room and its requirements and reserve Section 9.8.L for future use.

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The public hearing will be held at the Elmwood Township Hall, 10090 E. Lincoln Road, Traverse City, Individuals can make public comment or submit written comments, in person, at the public hearing. Written comments may be submitted prior to the public hearing by mailing them to: Planning and Zoning Department, 10090 E. Lincoln Rd., Traverse City, MI 49684 or [planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov). Written comments submitted prior to the public hearing will be received until 5:00 p.m., Tuesday, March 19, 2024.

Individuals planning to attend who require reasonable auxiliary aids should contact Connie Preston, Township Clerk at (231) 946-0821.

**Public Notice**  
 Notice to Creditors

Decedent's Estate  
 State of Michigan  
 Probate Court  
 Leelanau County  
 Case No.: 24-13618-DE  
 Judge:

Estate of Kenneth T. (Terry) Bovee  
 Date of birth: 5/24/1945

TO ALL CREDITORS: \*\*  
 NOTICE TO CREDITORS: The decedent Kenneth T. (Terry) Bovee, died January 24, 2024.

Creditors of the decedent are notified that all claims against the estate will be forever barred unless presented to Glenda C. Vaughn, personal representative, or to both the probate court at 8527 E. Government Center Drive, Suite 203 Suttons Bay, MI 49682 and the personal representative within 4 months after the date of publication of this notice.

February 29, 2024  
 Glenda C. Vaughn 1115 E. Alcea Street  
 Shawnee, OK 74801  
 405-406-2214  
 James R. Williams P22351  
 105 W. Broadway, P.O. Box 458  
 Suttons Bay, MI 49682  
 231-271-3254

**To All Persons Liable to Assessment For Taxes In the Townships/City of:**

**BINGHAM  
 CENTERVILLE  
 CLEVELAND**

**ELMWOOD  
 EMPIRE  
 GLEN ARBOR**

**KASSON  
 LEELANAU  
 LELAND**

**OLON  
 SUTTONS BAY  
 TRAVERSE CITY**

COUNTY OF LEELANAU, State of Michigan,  
 For the Year 2024

**NOTICE OF MEETINGS OF**

**BOARDS of REVIEW**  
**March 11-14**

**Appeals will be heard as follows:**

**BINGHAM TWP.**  
 Mon., Mar. 11: 9 a.m.-Noon & 1-4 p.m.  
 Tues., Mar. 12: 2-5 p.m. & 6-9 p.m.

**CENTERVILLE TWP.**  
 Centerville Township Hall  
 Mon., Mar. 11: 2-5 p.m. & 6-9 p.m.  
 Thurs., Mar. 14: 9 a.m.-Noon & 1-4 p.m.

**CITY OF TRAVERSE CITY**  
 Mon., Mar. 11: 9 a.m.-3 p.m.  
 Tues., Mar. 12: 3-9 p.m.  
 2nd floor training room,  
 400 Boardman Ave., Traverse City, MI.  
 Call prior to board meeting with questions/concerns or to schedule an appointment. (231) 922-4450

**CLEVELAND TWP.**  
 Cleveland Township Hall  
 Mon., Mar. 11: 2-5 p.m. & 6-9 p.m.  
 Wed., Mar. 13: 9 a.m.-Noon & 1-4 p.m.

**ELMWOOD TWP.**  
 Mon., Mar. 11: 3-9 p.m.  
 Public Protest Meeting  
 Tues., Mar. 12: 9 a.m.-3 p.m.  
 March 11 meeting at the Fire Hall  
 March 12 meeting at the Township Hall  
 Appointments call (231)946-0921  
 Written appeals must be post marked by March 9, 2024

**EMPIRE TWP.**  
 Mon., Mar. 11, 2-5 p.m. & 6-9 p.m.  
 Tues., Mar. 12, 9 a.m.-12 p.m. & 1-4 p.m.

**GLEN ARBOR TWP.**  
 Wed., Mar. 13: 3-9 p.m.  
 Thurs., Mar. 14: 10 a.m.-4 p.m.  
 No attendance is required to file a protest. Letter petitions on Form L-4035 received by The Board of Review before adjournment are acceptable.

**KASSON TWP.**  
 Kasson Township Hall  
 Mon., Mar. 11: 9 a.m.-3 p.m.  
 Wed., Mar. 13: 3 p.m.-9 p.m.

**LEELANAU TWP.**  
 Mon., Mar. 11: 9 a.m.-4 p.m. & 6-9 p.m.  
 Tues., Mar. 12: 9 a.m.-noon & 1-4 p.m.  
 119 E. Nagonaba St. • 231-386-5138

**LELAND TWP.**  
 Leland Township Office  
 489 W. Main Street, Lake Leelanau  
 Mon., Mar. 11: 9 a.m.-Noon, & 1-4 p.m.  
 Tues., Mar. 12: 2-5 p.m. & 6-9 p.m.

**OLON TWP.**  
 Mon., Mar. 11: 9 a.m. - 3 p.m.  
 Tues. Mar. 12: 3-9 p.m.  
 All meetings at the Township Hall

**SUTTONS BAY TWP.**  
 Wed., Mar. 13, 9 a.m.-Noon & 1-4 p.m.  
 Thurs., Mar. 14, 1-4 p.m. & 6-9 p.m.

**In the Town Hall\* of Each Township**

Each Township Board of Review will meet on **Tuesday, March 5th, \*\*** to receive from the supervisor/assessor his assessment roll, and to review & examine the roll.

**To All property owners appealing to the local Board of Review:**

Notice is hereby given to all persons liable to assessment for taxes in these Townships that the Assessment Rolls of said Township as prepared by the Supervisors will be subject to inspection at the Township Hall or other designated location Tuesday, March 5th \*\*, said Boards of Review will be in session on the above listed dates and times, and upon request of any person who is assessed on said rolls, or of his agent and upon sufficient cause being shown, said

Board of Review will correct the assessments on such property in such manner as will in their judgment make the valuation thereof relatively just and equal. After said Board shall complete the review of said roll, a majority of said Board shall endorse thereon, and sign a statement to the effect that the same is the assessment roll of said Township for the year in which it has been prepared and approved by the Board of Review.

It is requested you have with you a copy of a recent tax notice. This will expedite the locating of your property in the assessment rolls. No appointment is necessary as all boards will operate on a first-come, first-served basis. Local taxpayers should appear in person or by an authorized representative. However, non-residents shall be permitted to file their appeals by letter. The property owner will be notified of the board's decision by first-class mail.

Any taxpayer wishing to carry his appeal to a higher board may appeal to the State Tax Tribunal. The State Tax Tribunal will not accept any appeals unless the assessment was protested to a local Board of Review. All local supervisors will be furnished with the proper procedures which will be necessary to follow in appealing to the State Tax Tribunal.

To: Elmwood Township Planning Commission  
From: Sarah Clarren, Planner/Zoning Administrator  
Date: March 12, 2024  
RE: Public Hearing ZO 2017-04-22

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Please review the enclosed text and note that per Section 11.12.D, the following guidelines shall be used by the Planning Commission in consideration of amendments to the Zoning Ordinance.

1. Text Amendment.

- a. The proposed text amendment would clarify the intent of the Ordinance.
- b. The proposed text amendment would correct an error in the Ordinance.
- c. The proposed text amendment would address changes to State legislation, recent case law or opinions from the Attorney General of the State of Michigan.
- d. The proposed text amendment would promote compliance with changes in other county, state or federal regulations.
- e. The proposed text amendment would be consistent with the goals, policies, and future land use map of the Elmwood Township Master Plan, or if conditions have changed significantly since the Master Plan was adopted, consistent with recent development trends in the area.
- f. In the event the amendment will add a use to a district, that use shall be consistent with the character of the range of uses provided within the district.
- g. The amendment shall not create incompatible land uses within a zoning district, or between adjacent districts.
- h. The proposed text amendment is supported by the findings of reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements, and similar technical items.
- i. As applicable, the proposed text amendment shall be consistent with the Township's ability to provide adequate public facilities and services.
- j. The proposed text amendment shall be consistent with the Township's desire to protect the public health, safety, and welfare of the community.

If the Commission would like to move forward with the text, please make the following motion:

**Motion to recommend approval of text amendment ZO 2017-04-22 to the Township Board and forward on to the County.**



CHARTER TOWNSHIP OF ELMWOOD  
Leelanau County, Michigan

**Ordinance No.** \_\_\_\_\_  
**ZO 2017-04-22**

AN ORDINANCE TO AMEND THE TOWNSHIP ZONING ORDINANCE, IN ACCORANCE WITH THE PROVISIONS OF THE MICHIGAN ZONING ENABLING ACT, ACT 110 OF THE PUBLIC ACTS OF 2006, AS AMENDED [MCL 125.3101 ET SEQ.], TO AMEND SECTION 2.2 TO ADD A DEFINITION FOR DWELLING, MULTI AND TO MODIFY THE EXISTING DEFINITIONS FOR PARCEL, LOT, LOT AREA AND NET LOT AREA; AMEND SECTION 3.14 TO REINTRODUCE DEVELOPMENT REQUIREMENTS FOR MULTI-DWELLING DEVELOPMENTS; ADD NOTE 'I' TO SECTION 5.6 TO REFERENCE RESIDENTIAL DENSITY REQUIREMENTS TO SECTION 3.14; MODIFY SECTION 7.1.2 SO RESIDENTIAL BASE DENSITY IS DETERMINED USING NET ACREAGE; MODIFY SECTION 7.2.2 SO RESIDENTIAL DENSITY IS BASED OFF OF NET LOT AREA; MODIFY SECTION 8.4.12 TO HAVE SITE PLAN REVIEW APPLICANTS SUBMIT THE GROSS LOT AREA AND NET LOT AREA.

The Charter Township of Elmwood Ordains:

**Section 1: Amendment**

**1. Amend Section 2.2, specifically to add the following definitions:**

**Dwelling, Multi.** A building or buildings on a single lot with at least two dwelling units, including any attached dwelling, as defined in this Ordinance.

**2. Amend Section 2.2, specifically to modify the below definitions to read as follows:**

**Parcel.** See Lot.

**Lot.** A parcel of land having frontage along a road or right-of-way on which a principal use or uses and its accessory uses are located, or intended to be located, together with any open spaces required by this Ordinance. A site condominium lot shall also be considered a lot for purposes of compliance with the regulations of this Ordinance.

**Lot Area, Gross.** The total horizontal area within the boundary lines of a lot not including right-of-way easements.

**Lot Area, Net:** The lot area excluding unbuildable areas of the lot. Examples for unbuildable areas include existing and proposed ingress and egress easements, wetlands, and bodies of water. (Amendment ZO 2017-04-09, Ordinance #2021-1, Effective January 29, 2021)

**3. Amend Section 3.14, specifically so it reads as follows:**

### **SECTION 3.14 MULTI-DWELLING REQUIREMENTS**

- A. Intent. The intent of this Section is to recognize the growing need for housing within the Township, while at the same time encouraging sustainable multi-dwelling developments so these developments do not overburden the lots on which they are located and do not impose unreasonably adverse impacts on the surrounding lots. Further, this Section seeks to ensure that any multi-dwelling development of lots remains consistent with underlying zoning requirements.
- B. Multi-dwelling Development Requirements. All multi-dwelling developments that are permitted in any zoning district shall comply with the following requirements:
1. Every dwelling unit within a multi-dwelling development shall have a minimum width of twenty-four (24) feet and a minimum living area of seven hundred twenty (720) square feet.
  2. The minimum net lot area for a multi-dwelling development shall be 12,500 sq ft.
  3. Except as provided in subsection 6 below, the maximum number of dwelling units permitted (density) within a multi-dwelling development shall be determined by dividing the net lot area of the lot on which the multi-dwelling development will be located by the minimum lot size of the zoning district in which the multi-dwelling development will be located. When the density calculation results in a whole number, plus any fraction, then the calculation shall be rounded up to permit one additional dwelling unit. In addition, when a density calculation results in any fraction less than a whole number, then the developer shall be allowed to construct one (1) dwelling unit on the lot. Finally, in the case of a multi-dwelling development in the General Commercial (GC), Neighborhood Commercial (NC), Light Industrial (LI), and Shoreline Commercial (SC) Zoning Districts, 6,250 sq ft may be utilized instead of the minimum lot area when calculating the number of dwelling units.
  4. If the density of a multi-dwelling development exceeds one dwelling unit per acre, then the development shall have shared utility systems (septic and well) or connect into public utility systems (sewer and water).
  5. The Planning Commission may consider density bonuses within Planned Developments as allowed and defined within Section 7.1.2 of this Ordinance.
  6. In no instance shall density be permitted to exceed twelve (12) dwelling units per acre.

#### **4. Amend Section 5.6, Table of Dimensional Requirements to create a new 'Note I' under**



footnotes. This 'Note I' will read as follows:

**Note I: Density.** The maximum number of dwelling units permitted on a lot in any zoning district referenced in this table shall comply with Section 3.14 of this Ordinance.

5. Amend Section 7.1.2.C to read as follows:

**SECTION 7.1.2 General Requirements**

C. **Residential Base Density:** The maximum base residential density and number of permitted Dwelling units shall be determined by dividing the total net lot area by the minimum lot size of the underlying zoning district.

6. Amend Section 7.2.2 to read as follows:

**SECTION 7.2.2 Application And Review Procedures**

E.1.d. A residential density calculation indicating the total number of dwelling units divided by the net lot area, and a more detailed residential density calculation that divides the number of a specific unit type by the net lot area associated with that specific unit type.

7. Amend Section 8.4.12 (Requirements for Site Plan Approval) to read as follows:

12. The gross lot area and net lot area.

**Section 2:** Severability.

If any sections, clause, or provision of this Ordinance is declared unconstitutional or otherwise invalid by a court of competent jurisdiction, said declaration shall not affect the remainder of the Ordinance. The Township Board hereby declares that it would have passed this Ordinance and each part, section, subsection, phrase, sentence and clause irrespective of the fact that any one or more parts, sections, subsections, phrases, sentences or clauses be declared invalid.

**Section 3:** Effective Date.

This Ordinance shall become effective eight (8) days following publication.

Public Hearing: \_\_\_\_\_

Adopted: \_\_\_\_\_

Effective: \_\_\_\_\_



To: Elmwood Township Planning Commission  
From: Sarah Clarren, Planner/Zoning Administrator  
Date: March 12, 2024  
RE: Public Hearing ZO 2017-04-23

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Please review the enclosed text and note that per Section 11.12.D, the following guidelines shall be used by the Planning Commission in consideration of amendments to the Zoning Ordinance.

Please note that during last month's discussion on the text, the Commission wanted the word 'Monthly' to be added as the first word in (proposed) Section 9.8.J.6.a.ii so that it reads "*Monthly* Sale of food shall not exceed 10% of gross sales of licensed products. At the request of the Township, the business shall provide supporting documentation to the Township verifying compliance with this section" (emphasis added).

1. Text Amendment.

- a. The proposed text amendment would clarify the intent of the Ordinance.
- b. The proposed text amendment would correct an error in the Ordinance.
- c. The proposed text amendment would address changes to State legislation, recent case law or opinions from the Attorney General of the State of Michigan.
- d. The proposed text amendment would promote compliance with changes in other county, state or federal regulations.
- e. The proposed text amendment would be consistent with the goals, policies, and future land use map of the Elmwood Township Master Plan, or if conditions have changed significantly since the Master Plan was adopted, consistent with recent development trends in the area.
- f. In the event the amendment will add a use to a district, that use shall be consistent with the character of the range of uses provided within the district.
- g. The amendment shall not create incompatible land uses within a zoning district, or between adjacent districts.
- h. The proposed text amendment is supported by the findings of reports, studies, or other documentation on functional requirements, contemporary building practices, environmental requirements, and similar technical items.
- i. As applicable, the proposed text amendment shall be consistent with the Township's ability to provide adequate public facilities and services.
- j. The proposed text amendment shall be consistent with the Township's desire to protect the public health, safety, and welfare of the community.

If the Commission would like to move forward with the text, please make the following motion:

**Motion to recommend approval of text amendment ZO 2017-04-23 to the Township Board and forward on to the County.**



CHARTER TOWNSHIP OF ELMWOOD  
Leelanau County, Michigan

Ordinance No. \_\_\_\_\_  
ZO 2017-04-23

AN ORDINANCE TO AMEND THE TOWNSHIP ZONING ORDINANCE, IN ACCORANCE WITH THE PROVISIONS OF THE MICHIGAN ZONING ENABLING ACT, ACT 110 OF THE PUBLIC ACTS OF 2006, AS AMENDED [MCL 125.3101 ET SEQ.], TO AMEND SECTION 2.2 TO ADD DEFINITIONS FOR ALCOHOL, BEER, BREWER, BREWERY, DISTILLER, MICRO BREWER, SMALL DISTILLER, SMALL WINE MAKER, SPIRITS, TASTING ROOM, WINE MAKER, REVISE DEFINITIONS FOR DISTILLERY, WINE, WINERY, AND ELIMINATE DEFINITIONS FOR DISTILLERY TASTING ROOM, WINE, BRANDY, WINE DRINK, MIXED, WINE RELATED BEVERAGES, AND WINE TASTING ROOM; AMEND SECTION 5.4 TO ELIMINATE DISTILLERY TASTING ROOMS, MICROBREWRIES/DISTILLERIES, AND WINE TASTING ROOM, ADD 'DISTILLERY AND/OR BREWERY' AND 'TASTING ROOM' AS PERMITTED USES UNDER SITE PLAN REVIEW OR SPECIAL USE PERMIT IN CERTAIN ZONING DISTRICTS, ALLOW WINERY AS A USE WITHIN THE GENERAL COMMERCIAL AND LIGHT INDUSTRIAL DISTRICTS UNDER SITE PLAN REVIEW, RENUMBER USES; AMEND SECTION 5.5.K TO ELIMINATE TWO REQUIREMENTS FOR TEMPORARY PRODUCE STANDS AND RENUMBER SUBSEQUENT REQUIREMENTS; ADD SECTION 5.5.N TO CONTAIN REQUIREMENTS FOR WINERIES, DISTILLERIES, AND BREWERIES; AMEND SECTION 6.1.3 TO LIST PARKING REQUIREMENTS FOR WINERIES, DISTILLERIES, AND BREWERIES; AMEND SECTION 9.8.J TO CONTAIN REQUIREMENTS FOR TASTING ROOMS FOR WINERIES, DISTILLERIES, AND BREWERIES; ELIMINATE SECTION 9.8.L DISTILLERY TASTING ROOM AND ITS REQUIREMENTS AND RESERVE SECTION 9.8.L FOR FUTURE USE.

The Charter Township of Elmwood Ordains:

**Section 1:** Amendment.

**1. Amend Section 2.2, specifically to add the following definitions:**

**Alcohol.** The product of distillation of fermented liquid, whether or not rectified or diluted with water, but does not mean ethyl or industrial alcohol, diluted or not, that has been denatured or otherwise rendered unfit for beverage purposes.

**Beer.** A beverage obtained by alcoholic fermentation of an infusion or decoction of barley, malt, hops, sugar, or other cereal in potable water.

**Brewer.** A person located in this state that is licensed by the Michigan Liquor Control Commission to manufacture beer and sell at retail and to licensed wholesalers the beer manufactured by the person.

**Brewery.** A facility licensed by the Michigan Liquor Control Commission where agriculture products are grown and/or maintained and used by brewers and/or micro brewers to manufacture beer and sell at retail and to licensed wholesalers the beer manufactured by the brewer or micro brewer.

**Distiller.** A person licensed by the Michigan Liquor Control Commission to manufacture and sell spirits or alcohol, or both, of any kind.

**Micro Brewer.** A brewer that manufactures in total less than 60,000 barrels of beer per year and that may sell the beer manufactured to consumers at the licensed brewery premises for consumption on or off the licensed brewery premises and to retailers. In determining the 60,000-barrel threshold, all brands and labels of a brewer, whether manufactured in this state or outside this state, must be combined and all breweries for the manufacturing of beer that are owned or controlled by the same person must be treated as a single facility.

**Small Distiller.** A manufacturer of spirits annually manufacturing in this state not more than 60,000 gallons of spirits, of all brands combined.

**Small Wine Maker.** A wine maker manufacturing or bottling not more than 50,000 gallons of wine in 1 calendar year. A small wine maker is not required to bottle wine it manufactures.

**Spirits.** A beverage that contains alcohol obtained by distillation, mixed with potable water or other substances, or both, in solution, and includes wine containing an alcoholic content of more than 21% by volume, except sacramental wine and mixed spirit drink.

**Tasting Room.** A location on or off the manufacturing premises of a brewer, micro brewer, wine maker, small wine maker, distiller, or small distiller where the brewer, micro brewer, wine maker, small wine maker, distiller, or small distiller may provide samples of or sell at retail for consumption on or off the premises, or both, the beer, wine, or spirits it manufactures. A small wine maker, however, may only sell wine it bottled.

**Wine Maker.** A person licensed by the Michigan Liquor Control Commission to manufacture wine and to sell that wine to a wholesaler, to a consumer by direct shipment, at retail on the licensed winery premises, and to sell that wine to a retailer.

**2. Amend Section 2.2, specifically to modify the below definitions to read as follows:**

**Distillery.** A facility licensed by the Michigan Liquor Control Commission where agriculture products are grown and/or maintained and used by distillers and/or small distillers to manufacture spirits or alcohol and to sell the spirits and/or alcohol manufactured by the distiller or small distiller.

**Wine.** A product manufactured by the normal alcoholic fermentation of the juice of sound, ripe grapes, or any other fruit with the usual cellar treatment, and containing not

more than 21% of alcohol by volume, including cider made from apples or pears, or both, that contains at least ½ of 1% of alcohol by volume, or mead, or honey wine made from honey, fermented fruit juices other than grapes, and mixed wine drinks.

**Winery.** A facility licensed by the Michigan Liquor Control Commission where agriculture products are grown and/or maintained and used by wine makers and/or small wine makers to manufacture wine and to sell that wine to a wholesaler, to a consumer by direct shipment, at retail on the licensed winery premises, and to sell that wine to a retailer.

**3. Amend Section 2.2, specifically to eliminate the following definitions:**

**Distillery Tasting Room.** A Michigan licensed room used in conjunction, as an accessory use, with a distillery where a spirit is produced on-site, may be consumed or purchased.

**(Amendment ZO 2017-04-03, Ordinance #2018-04, Effective November 9, 2018)**

**Wine, Brandy.** An alcoholic liquor as defined in Federal Standards of Identity for Distilled Spirits, 27 CFR 5.22 (d) 1980.

**Wine Drink, Mixed.** A drink or similar product containing less than seven percent (7%) alcohol by volume, consisting of wine and sparkling or carbonated or water and/or containing one (1) or more of the following: non-alcoholic beverages; flavorings; fruit juices; coloring materials; fruit adjuncts; sugar; preservatives; and carbon dioxide .

**Wine-Related Beverages.** Fortified wines, wine brandy, other mixed wine drinks, and drinks related to or inclusive of wines.

**Wine Tasting Room.** A Michigan licensed room used in conjunction with a winery where the tasting of wine, fruit wines, and non-alcoholic fruit juices takes place at a charge or at no charge to the individual, and the retail sales of winery and cheese products, incidental wine-related non food items, products by the bottle, container, or case for off-premises consumption, and wine-related packaged food items are allowed as provided herein.

**4. Amend Section 5.4 to eliminate Use #49 (Distillery Tasting Rooms), Use #60 (Microbreweries/Distilleries regulated by Michigan Liquor Control Commission) Use #78 (Wine Tasting Room); create new Use #49 (Distillery and/or Brewery), Use #74 (Tasting Room); change permitting process for Use #79 (Winery); renumber the table as needed. Uses #49, #74, and #79 will read as follows:**

Applicable to Multiple Districts	A-R	R-1	R-2	R-3	MH P	M C	NC	G C	LI	SC	R R
49. Distillery and/or Brewery	SUP						Psp	Psp	Psp		
74. Tasting Room	SUP						Psp	Psp	Psp		

**5. Amend Section 5.5.K containing requirements for ‘Temporary produce stands,’ specifically to eliminate existing requirements 5 and 6 and then renumber subsequent requirements. The requirements that will be eliminated are:**

- ~~5. Additional agricultural products may be sold at the produce stand provided it is grown or produced (e.g., honey, syrup, etc) in Elmwood Township.~~
- ~~6. Sale of craft items is limited to those produced on the property.~~

**6. Amend Section 5.5 to create 5.5.N to contain requirements for Wineries, Distilleries, and Breweries. This new Section 5.5.N will read as follows:**

**N. Winery, Distillery, Brewery**

- 1. **Intent.** It is the intent of this ordinance to allow construction of Breweries, Distilleries, and Wineries for beer, wine, spirits and other alcoholic beverages regulated by the Michigan Liquor Control Code of 1998, being Public Act 58 of 1998 [MCL 436.1101 et seq] (the “Code”) on lands where the ingredients for such products are raised or grown. Such facilities are permitted with or without tasting rooms (See Section 9.8.J).

The growing of wine fruit and production of wine, the growing of the ingredients for making beer and the growing of crops to be used in distilling spirits are recognized as an integral component of the rural and agricultural ambiance of the agricultural areas within Elmwood Township if regulated appropriately. The growing of these crops do not require Planning Commission review, but without site plan review, production facilities could industrialize the agricultural district. It is, therefore, the intent of this section to maintain the viability of growing agricultural products by providing for the value added processing and direct sales of such beverages and other end products of such processing.

- 2. **Conditions.** Wineries, Distilleries, and Breweries may be permitted in accordance with Article 8 (Site Plan Review) and subject to the following conditions:
  - a. Every winery, brewery, and distillery, is subject to the development review requirements as provided in Article 8 (Site Plan Review) of this ordinance.
  - b. Monthly retail sales of the beverages produced on the site are permitted along with retail sales of related products (i.e. branding merchandise for the facility). However, no tasting is permitted unless a permit for a Tasting Room is obtained onsite.
  - c. To ensure that production facilities within the A-R Zoning District do not industrialize the district, the following standards shall be met:
    - i. The parcel must be at least ten (10) acres.
    - ii. The winery, distillery, or brewery is operated according to generally accepted agricultural management principles and for every winery, distillery, and brewery, the parcel shall have a minimum of five (5) planted acres of mature crop that is used for



the on-site production of alcohol for production facilities selling directly to the consumer. Ten (10) planted acres of mature crop that is used for the on-site production of alcohol for production facilities selling directly to the consumer is required for selling wholesale. For purposes of this section, 'mature crop' shall mean crops that are of an age where they can be harvested and used in the production of alcohol.

- iii. The total land area covered by buildings and structures used for the processing, storage and sales of wine, beer, and spirits may not exceed fifteen percent (15%) of the lot area. In order to encourage the reuse of historic buildings, the Planning Commission may consider a larger land cover percentage, while considering the impact of the use on neighboring properties. If the parcel contains a dwelling, the dwelling and the dwelling's associated accessory structures shall not be incorporated in this calculation. Any building or structure used for agricultural use (i.e. silos, animal husbandry, storage of traditional agricultural machinery (i.e. tractors, plows, etc.) shall not be incorporated in this calculation.
- d. All winery, brewery, or distillery structures and/or permitted outdoor tasting areas (if permitted shall be set back at least 100 feet from any lot line as well as any wetlands and/or any water's edge. This setback shall not apply to any building or structure used for agricultural use (i.e. silos, animal husbandry, storage of traditional agricultural machinery (i.e. tractors, plows, etc.).

**7. Amend Section 6.1.3, specifically to add minimum required parking spaces for Wineries, Distilleries, and Breweries to the existing table as follows:**

USE	MINIMUM NUMBER OF SPACES REQUIRED
Winery, Distillery, and/or Brewery	5 spaces plus 1 per employee on largest shift

**8. Remove Section 9.8.J (Requirements for Wine Tasting Rooms) and replace with a new Section 9.8.J (Requirements for Tasting Rooms for Wineries, Breweries, and Distilleries) to read as follows:**

**J. Tasting Rooms for Wineries, Breweries, and Distilleries**

The Township would like to encourage agriculturally related uses while preserving neighboring property owners' enjoyment of their land. Tasting Rooms are permitted as accessory uses at permitted Wineries, Breweries and Distilleries or within other zoning districts, as permitted provided that the proposed tasting room complies with the following requirements:

- 1. Every tasting room for a winery, brewery, and distillery within the Agricultural-Rural (A-R) Zoning District is subject to the development

review and requirements for a winery, brewery and distillery as provided in Article 5.5.N of this ordinance.

2. The tasting area may be located inside or outside a building, but at no time shall the tasting area exceed 2,500 sq ft.
3. A tasting room and/or an authorized outdoor tasting area shall not be located closer than 100 feet from any lot line of a lot containing a dwelling or from any lot that is zoned residential (R-1, R-2, or R-3).
4. If a tasting room is located within 500 feet from any lot line of a lot containing a dwelling or from any lot that is zoned residential (R-1, R-2, or R-3), then a fence or buffer, meeting the requirements of Section 6.4.4 of this Ordinance, shall be placed along the lot line of that adjacent lot to discourage trespass.
5. The hours of operation shall be between the hours of 10 am and 10 pm unless the Planning Commission determines that different and more restrictive hours are more appropriate to meet the standards of Section 9.3.
6. Amplified sound (including amplified music) shall be contained indoors and shall not produce sound that because of its volume or frequency annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of any reasonable person of normal sensitivities.
7. A Tasting Room is not intended to be a restaurant; restaurants are a use that is permitted in certain zoning districts. Therefore, a tasting room may offer limited food service provided:
  - a. Any retail sales and food service must be clearly accessory to the tasting room. This shall be evidenced by:
    - i. The area for serving food shall seat no more than twenty (20) patrons at one time.
    - ii. Sale of food shall not exceed 10% of gross sales of licensed products. At the request of the Township, the business shall provide supporting documentation to the Township verifying compliance with this section.
    - iii. Food service items shall be limited to appetizers and small plates. Carry-in or carry-out foods are prohibited.
  - b. Any food service shall be licensed to prepare and serve food by the appropriate Health Agency.

**9. Remove Section 9.8.L (Requirements for Distillery Tasting Rooms) and replace as follows:**

**L. RESERVED**

**Section 2:** Severability.

If any sections, clause, or provision of this Ordinance is declared unconstitutional or otherwise invalid by a court of competent jurisdiction, said declaration shall not affect the remainder of the Ordinance. The Township Board hereby declares that it would have passed this Ordinance and each part, section, subsection, phrase, sentence and clause irrespective of the fact that any one or more parts, sections, subsections, phrases, sentences or clauses be declared invalid.

**Section 3:** Effective Date.

This Ordinance shall become effective eight (8) days following publication.

Public Hearing: \_\_\_\_\_

Adopted: \_\_\_\_\_

Effective: \_\_\_\_\_

